

ADDENDUM No. 2

Request for Competitive Sealed Proposals (CSP)

19RFP060 Renovations at Reilly Elementary School

November 15, 2018

Item 1: Sign In Sheets

Item 2: Missing Documents

Item 3: MEP Sheets

Item 1:

The Sign In Sheets from the Presubmission Conference are attached

Item 2:

Drawings were missing from the Planroom at Miller IDS. They are as listed below and attached to this Addendum.

- 1831.00_Cover
- 1831.00_Index
- A1.00 Site Plan
- A1.01 DEMO FLOOR PLAN
- A1.02 ENLARGED DEMO PLAN
- A1.03 FLOOR PLAN
- A1.04 ENLARGED FLOOR

Item 3:

MEP Sheets in response to the City of Austin Building Department Plan Review Comments are listed as below and attached. They can also be found on the Planroom at Miller IDS

- M2.01
- M2.02
- M5.01
- MEP.02
- MEP.03



SIGN-IN SHEET

PRE-BID/PROPOSAL MEETING FOR PROJECT NO.: 19CSP060 Date: Wednesday, November 14, 2018

Project Name: Renovations at Reilly Elementary School

Name (Print) <i>CHRIS KEAVES</i>	Phone: <i>512 918-4014</i>	Fax:
Company Name: <i>DKL CONSTRUCTION GROUP</i>	Email Address: <i>CREAVES@DKCLGROUP.COM</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>1205 SHRLDON CV, STE 1F</i>	City, State, Zip: <i>AUSTIN, TX 78757</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Mike Copeland</i>	Phone: <i>210 413 5092</i>	Fax:
Company Name: <i>ALSD CMD</i>	Email Address: <i>Michael.Copeland@alshuisd.org</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>STEVE JONES</i>	Phone: <i>512 384 0063</i>	Fax:
Company Name: <i>TETA AMERICA (ROOFING)</i>	Email Address: <i>StJones@tectamerica.com</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input checked="" type="checkbox"/> Subcontractor
Mailing Address: <i>2314 PATTERSON IND DRING</i>	City, State, Zip: <i>PFUNGWISSE, TX, 78660</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>RICHARD JAYNES</i>	Phone: <i>817 307-1355</i>	Fax:
Company Name: <i>VK ARCHITECTS</i>	Email Address: <i>rljaynes@vkarchitects.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Gerald Green</i>	Phone: <i>512.414.3632</i>	Fax:
Company Name: <i>ALSD HUB</i>	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip: <i>Austin, TX</i>	<input checked="" type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm



SIGN-IN SHEET

PRE-BID/PROPOSAL MEETING FOR PROJECT NO.: 19CSP060 Date: Wednesday, November 14, 2018
 Project Name: Renovations at Reilly Elementary School

Name (Print) <i>Isidora Solazar</i>	Phone: <i>512-213-0244</i>	Fax:
Company Name: <i>Davila General Contractors</i>	Email Address: <i>isidora@davilacontractors.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>2100 Krumm Lane, Ste 900</i>	City, State, Zip: <i>Austin, TX</i>	<input checked="" type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>SABRINA LOZANO</i>	Phone: 512 930 2607 <i>512 930 2607</i>	Fax:
Company Name: <i>FTWOODS CONSTRUCTION</i>	Email Address: <i>slozano@ftwoods.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>2500 NE INNER LOOP, BLD. 2</i>	City, State, Zip: <i>GEORGETOWN, TX 78652</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input checked="" type="checkbox"/> Non-Minority Firm

Name (Print) <i>JOHN ROBERTS</i>	Phone:	Fax:
Company Name: <i>QA CONSTRUCTION</i>	Email Address: <i>JOHNRO@QACSI.COM</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>SHAY TRAWEEK</i>	Phone:	Fax:
Company Name: <i>QA CONSTRUCTION</i>	Email Address: <i>SHAY@QACSI.COM</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Scott Hennecker</i>	Phone: <i>512-906-9061</i>	Fax:
Company Name: <i>Sabre Commercial</i>	Email Address: <i>shennecker@sabrecommercial.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>2001 Chicon St.</i>	City, State, Zip: <i>Austin, TX 78722</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

PRE-BID/PROPOSAL MEETING FOR PROJECT NO.: 19CSP060 Date: Wednesday, November 14, 2018

Project Name: Renovations at Reilly Elementary School

Name (Print) <i>Michael Bowser</i>	Phone: <i>512-791-2887</i>	Fax:
Company Name: <i>Novium Group</i>	Email Address: <i>Tylerw@noviumgroup.net</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip: <i>Austin, TX 78748</i>	<input checked="" type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>DAVID HILSS</i>	Phone: <i>512-731-4686</i>	Fax:
Company Name: <i>GOTO AUTOMATION</i>	Email Address: <i>DAVID@GOTOAUTOMATION.COM</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input checked="" type="checkbox"/> Subcontractor <i>CONTROLS</i>
Mailing Address: <i>409 W. FRONT ST SUITE 100-252</i>	City, State, Zip: <i>HUTTO, TX 78634</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Veshiah Haugh</i>	Phone: <i>254-829-3200</i>	Fax:
Company Name: <i>HCS inc</i>	Email Address: <i>bids@hes-gc.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>365 wayside DR</i>	City, State, Zip: <i>WACO TX 76705</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Andrew Holloway</i>	Phone:	Fax:
Company Name: <i>Air Craft</i>	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input checked="" type="checkbox"/> Subcontractor
Mailing Address: <i>1916 Picadilly dr</i>	City, State, Zip: <i>Round Rock TX 78664</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input checked="" type="checkbox"/> Non-Minority Firm

Name (Print) <i>Ken ISO</i>	Phone: <i>512.515.0254</i>	Fax: <i>gilbert@estrconstructors.com</i>
Company Name: <i>STR Constructors</i>	Email Address: <i>gilbert@estrconstructors.com</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>15320 Hwy 29. W.</i>	City, State, Zip: <i>Liberty Hill TX. 76642</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm



SIGN-IN SHEET

PRE-BID/PROPOSAL MEETING FOR PROJECT NO.: 19CSP060 Date: Wednesday, November 14, 2018
 Project Name: Renovations at Reilly Elementary School

Name (Print) <i>Amanda Frederick</i>	Phone:	Fax:
Company Name: <i>AISD</i>	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Bob Deases</i>	Phone: <i>512-791-7662</i>	Fax:
Company Name: <i>AISD / Safety Dept</i>	Email Address: <i>safetydept2013@gmail.com</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>Mike Uker</i>	Phone: <i>(512) 385-6660</i>	Fax: <i>(512) 385-6664</i>
Company Name: <i>Jegicity Contractors</i>	Email Address: <i>MK4@jegicityContractors.com</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>720 Bastrop Hwy Suite 204</i>	City, State, Zip: <i>Austin TX 78742</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>DAVID KNAPP</i>	Phone: <i>210 452 3452</i>	Fax:
Company Name: <i>AISD Const. Maint Dept</i>	Email Address: <i>DAVID.KNAPP@AUSTINISD.ORG</i>	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print) <i>KONNIE TSCHAAT SCHULZ</i>	Phone: <i>512-844-3062</i>	Fax: <i>512-590-8739</i>
Company Name: <i>KOYCE CONSTRUCTION CO. INC.</i>	Email Address: <i>KTARCHERY@AUSTIN.PR.COM</i>	Proposing as: <input checked="" type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address: <i>1801 WHIP O WILL</i>	City, State, Zip: <i>KOONS ROCK, TX 78681</i>	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input checked="" type="checkbox"/> Non-Minority Firm



SIGN-IN SHEET

PRE-BID/PROPOSAL MEETING FOR PROJECT NO.: **19CSP060** Date: **Wednesday, November 14, 2018**
 Project Name: **Renovations at Reilly Elementary School**

Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm

Name (Print)	Phone:	Fax:
Company Name:	Email Address:	Proposing as: <input type="checkbox"/> Prime Contractor <input type="checkbox"/> Subcontractor
Mailing Address:	City, State, Zip:	<input type="checkbox"/> HUB <input type="checkbox"/> MBE <input type="checkbox"/> WBE <input type="checkbox"/> Non-Minority Firm



RENOVATIONS TO REILLY ELEMENTARY SCHOOL

AUSTIN, TEXAS

AUSTIN ISD

19-0029-REILLY
2017 BOND PACKAGE



10/25/2018



ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

M.E.P. ENGINEER

DBR-JONES
7800 Shoal Creek Blvd
SUITE #100
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS

13740 Research Blvd., C2
Austin, Texas 78750
Main Phone: 512.571.3530
www.engexteriors.com

ARCHITECT

RELIANCE ARCHITECTURE

1306 Barrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

TECHNOLOGY

COMBS CONSULTING

4425 S. Mopac, Bldg. 4, Ste. 600
Austin, Texas 78735
Main Phone: 512.773.6580
www.combs-group.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.

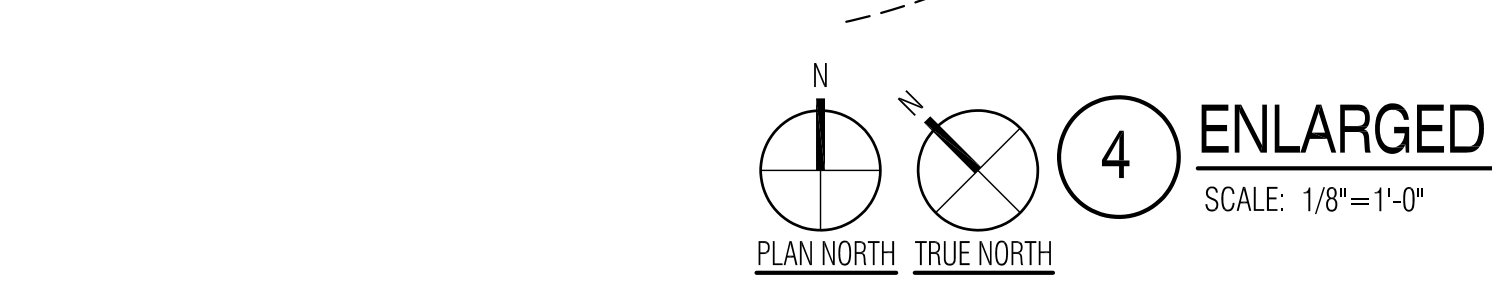
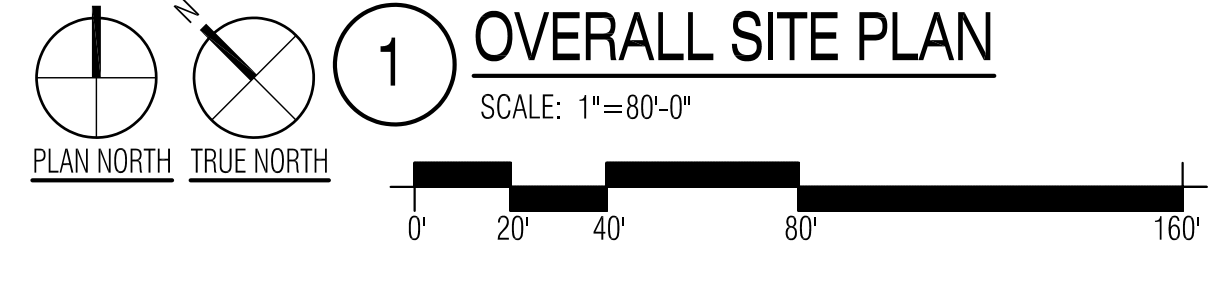
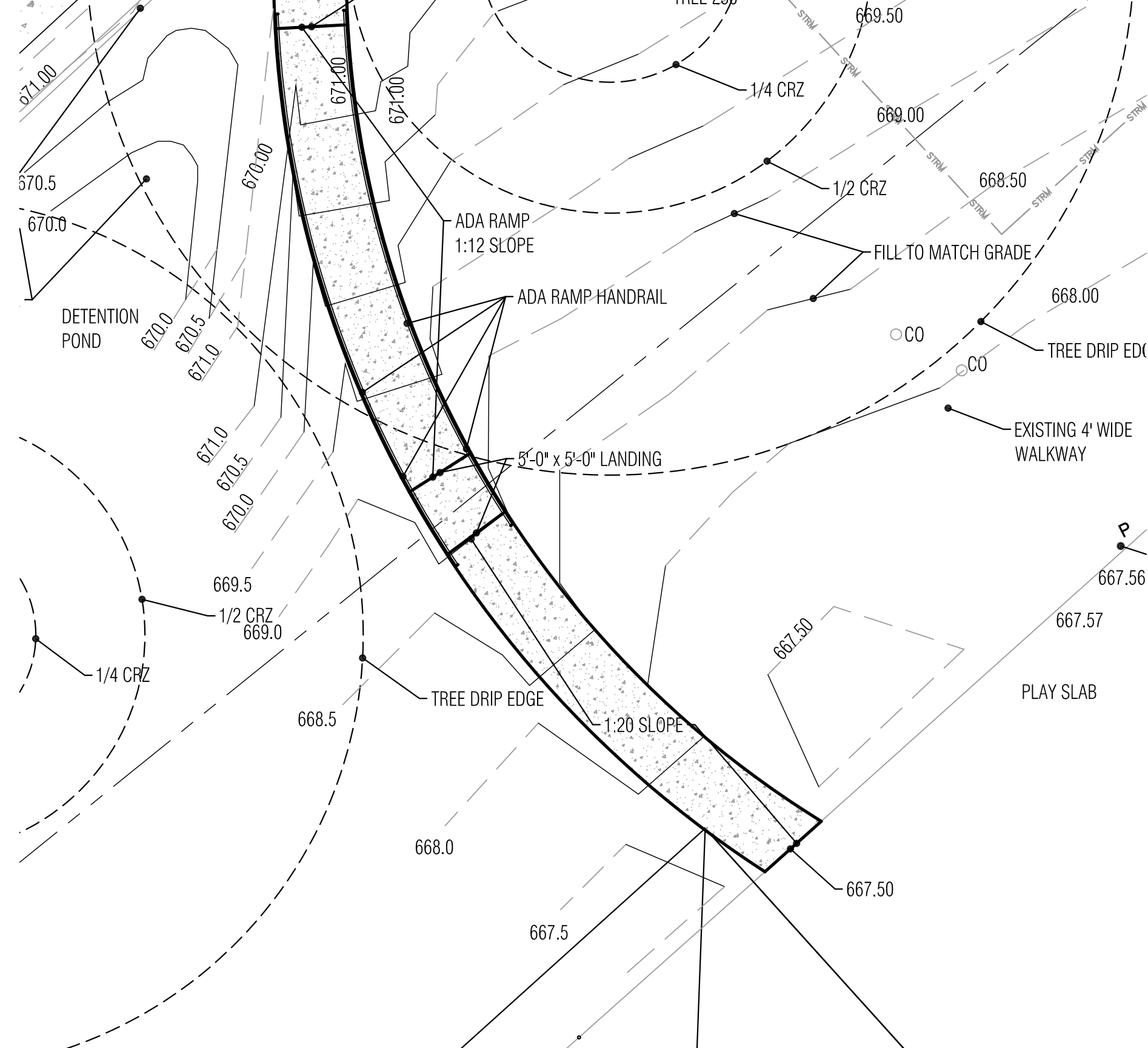
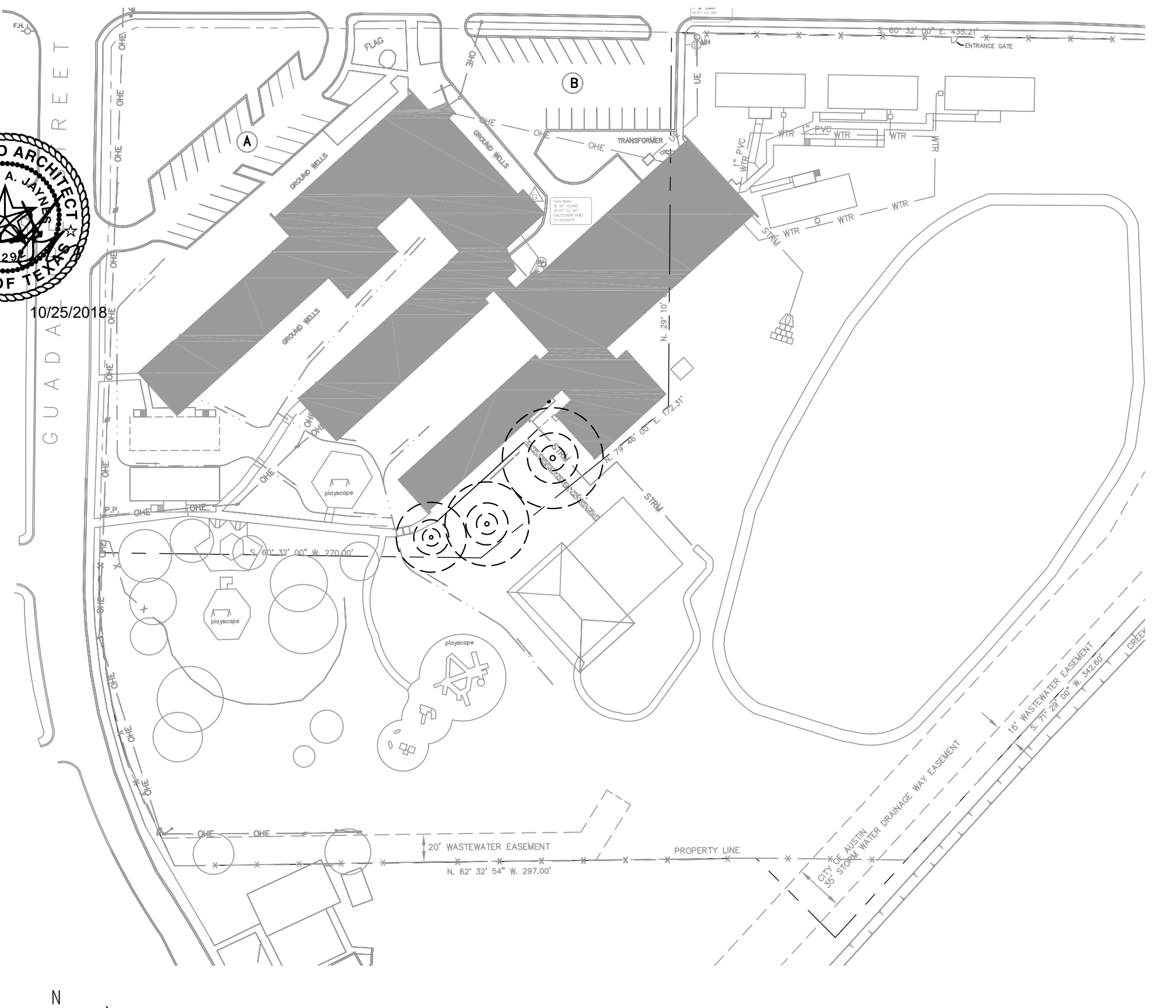
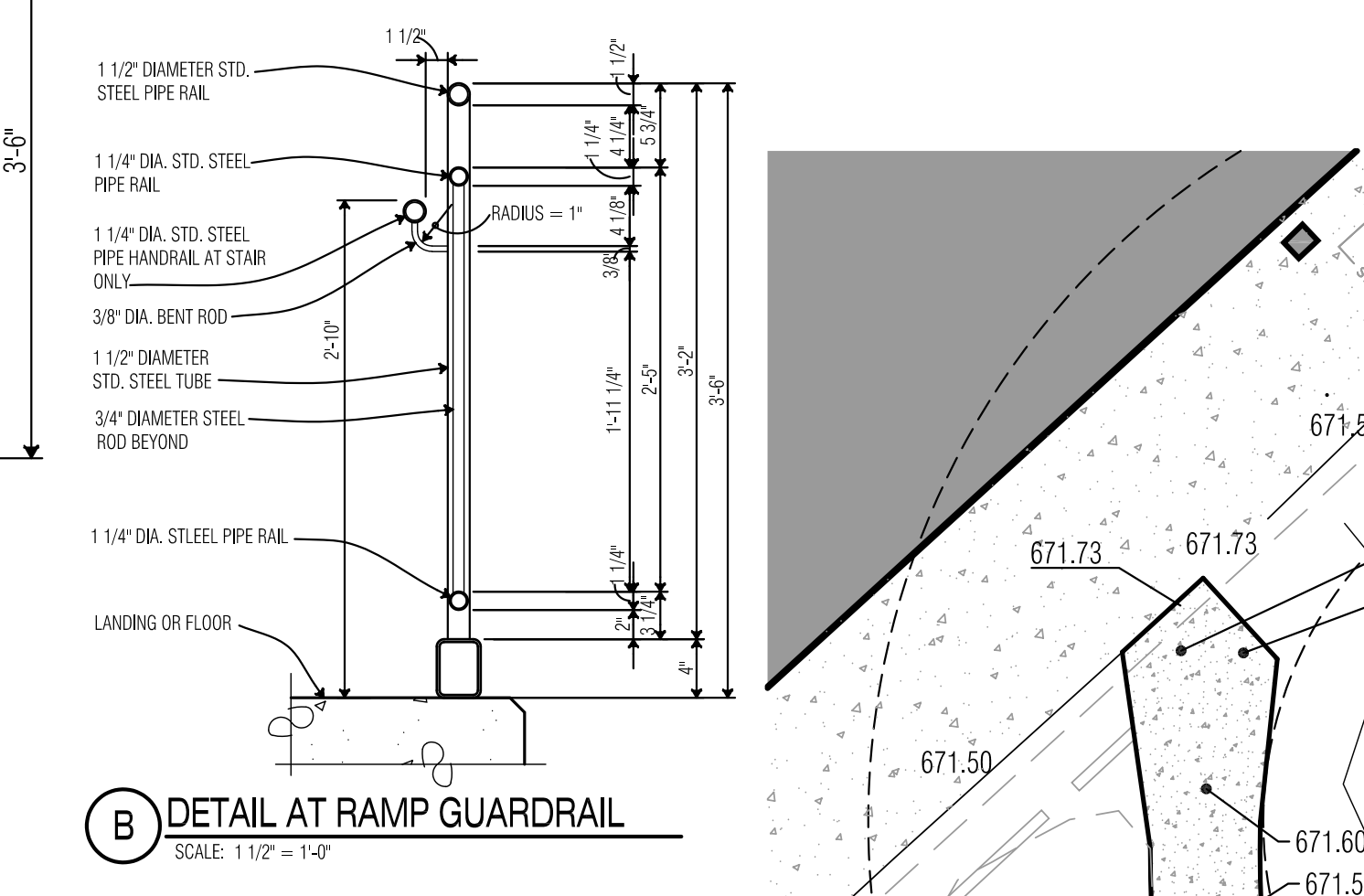
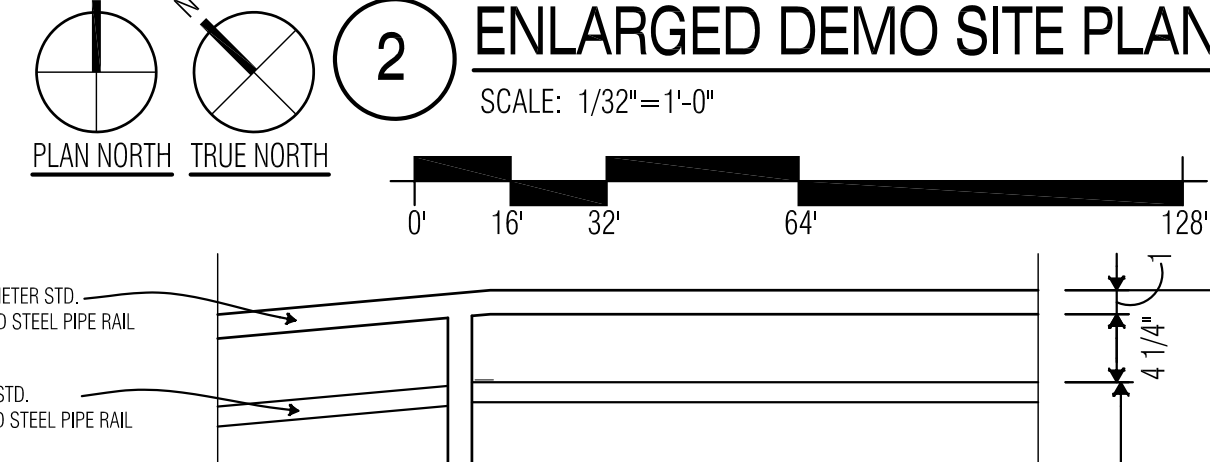
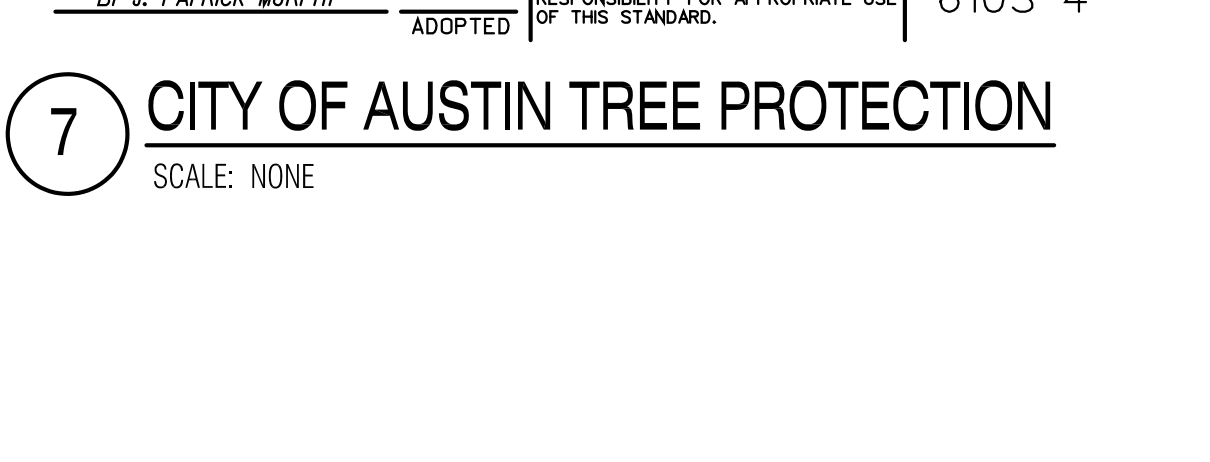
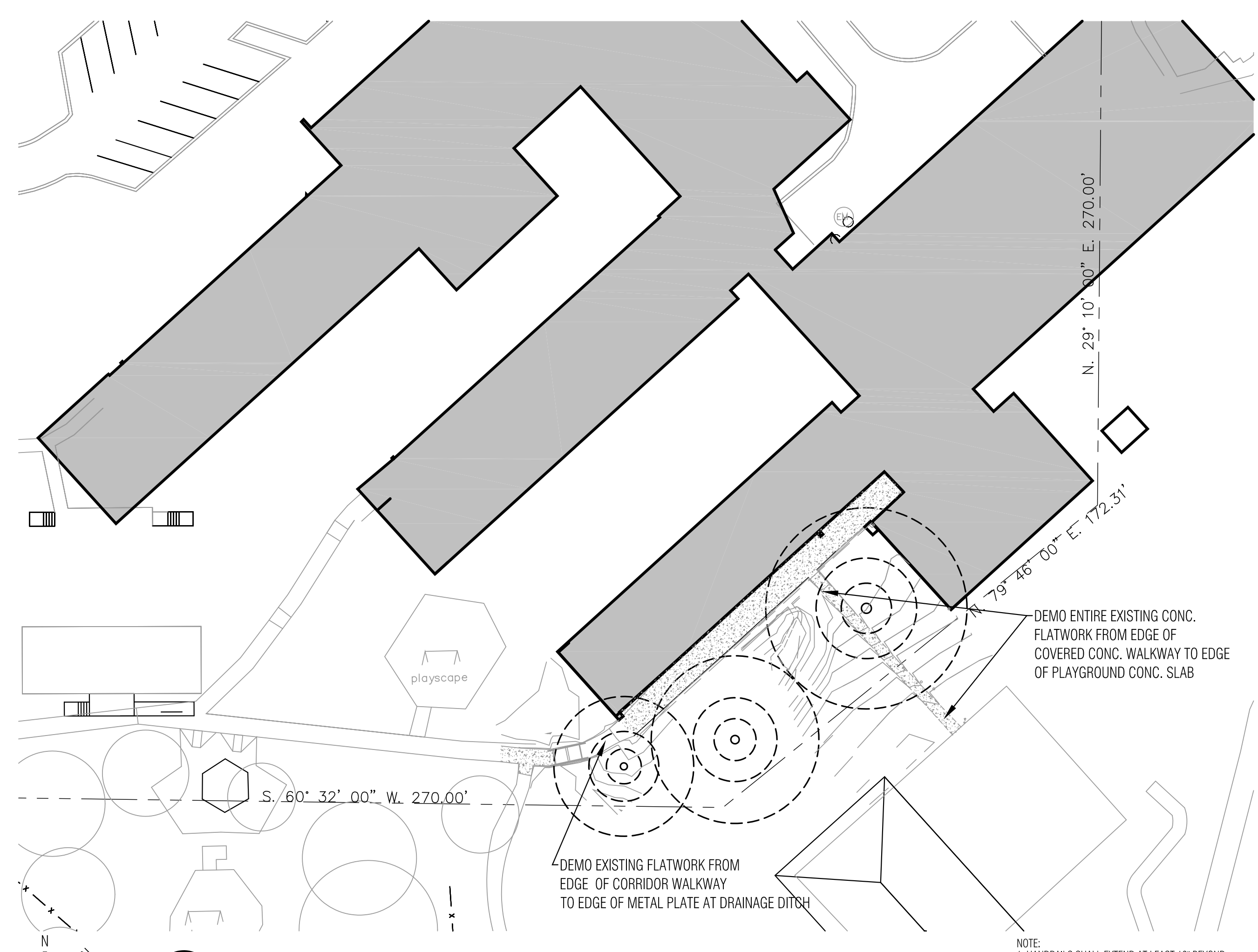
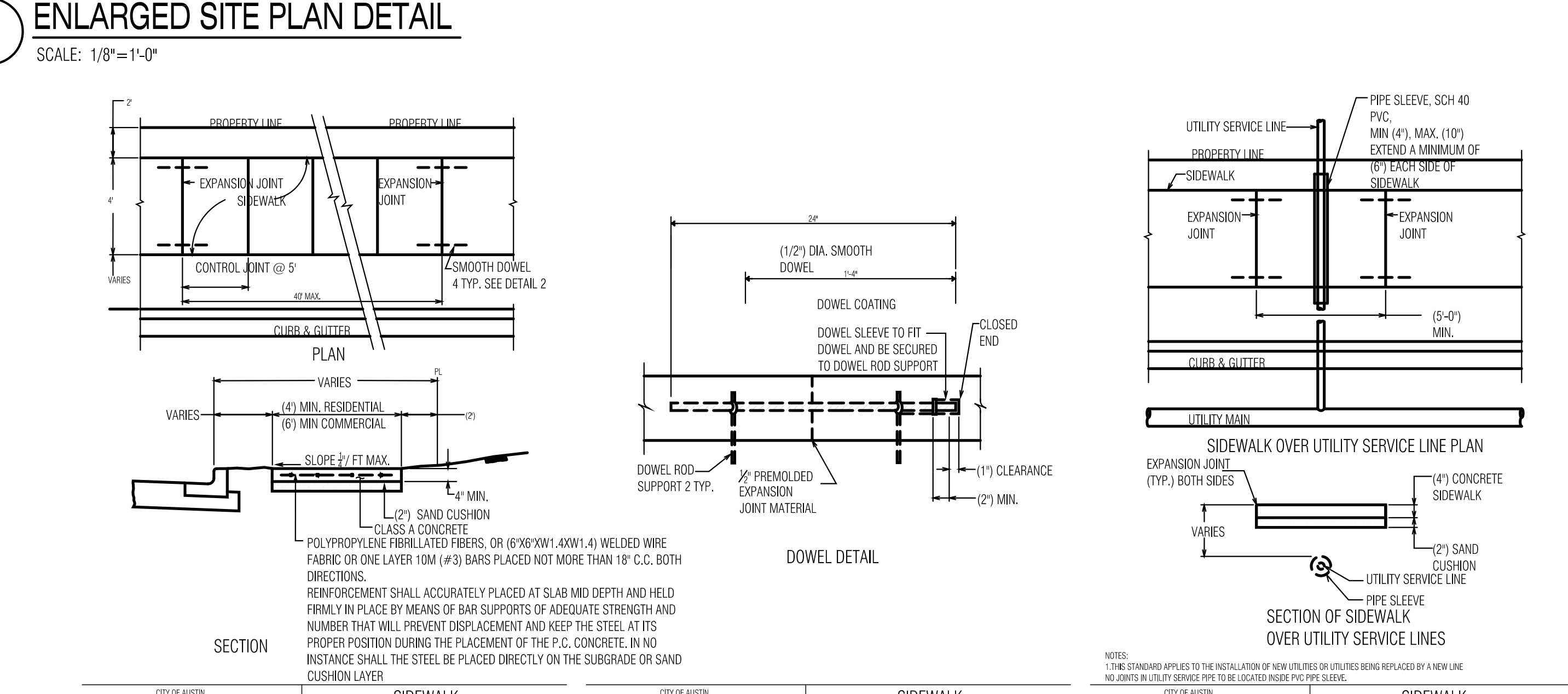
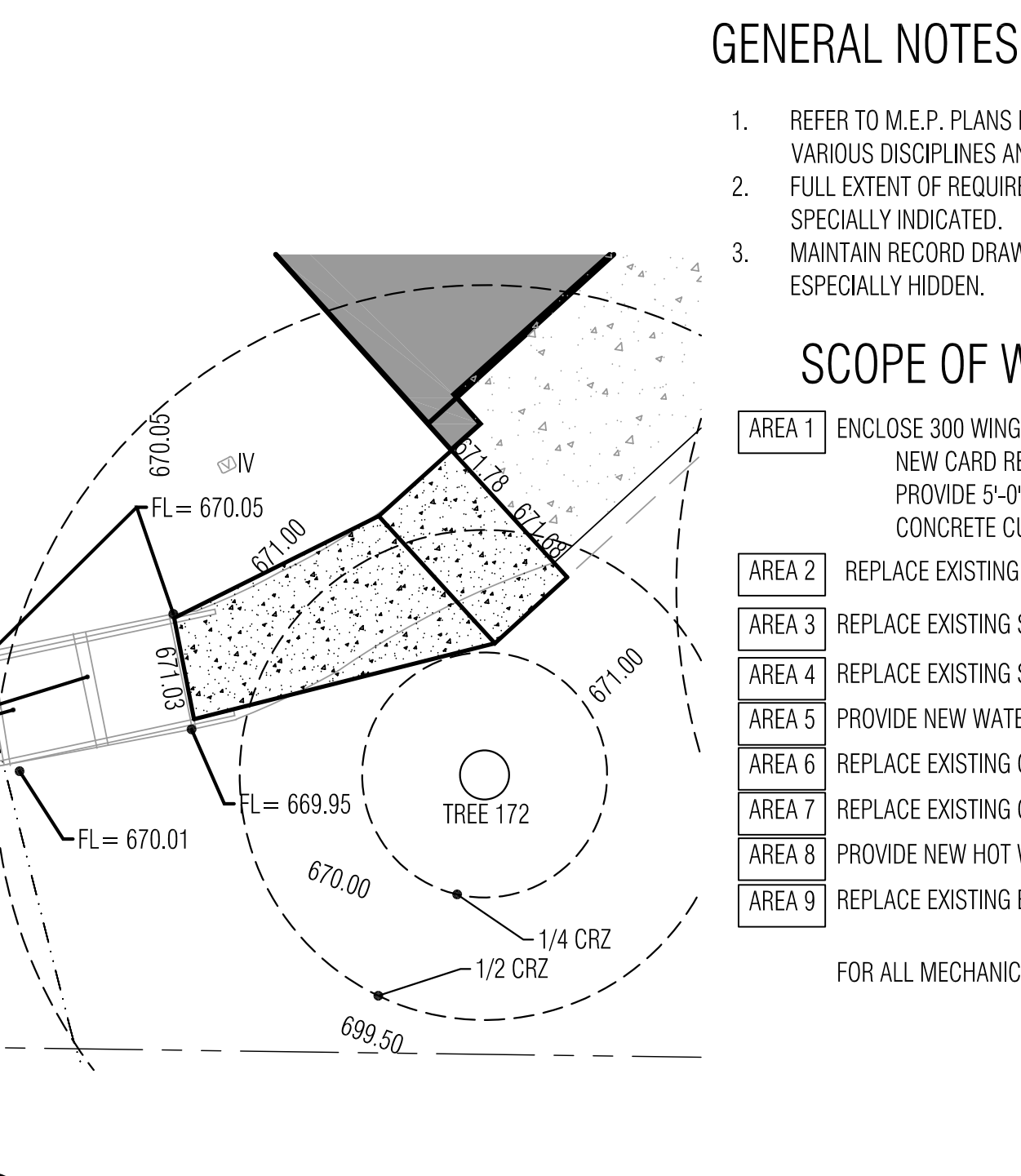
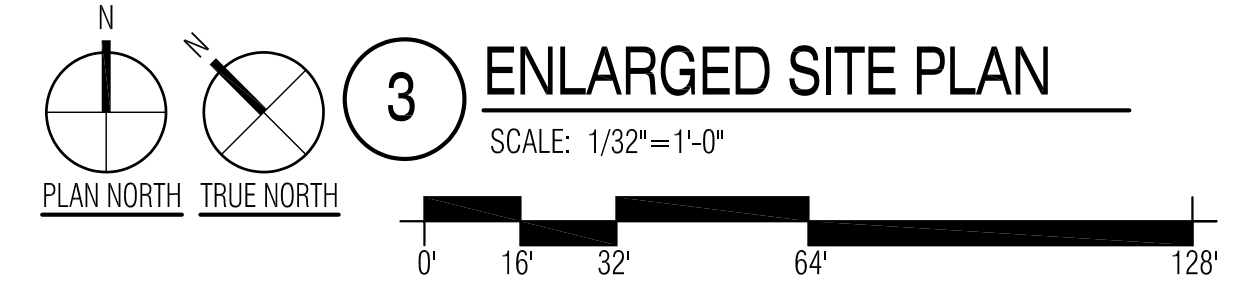
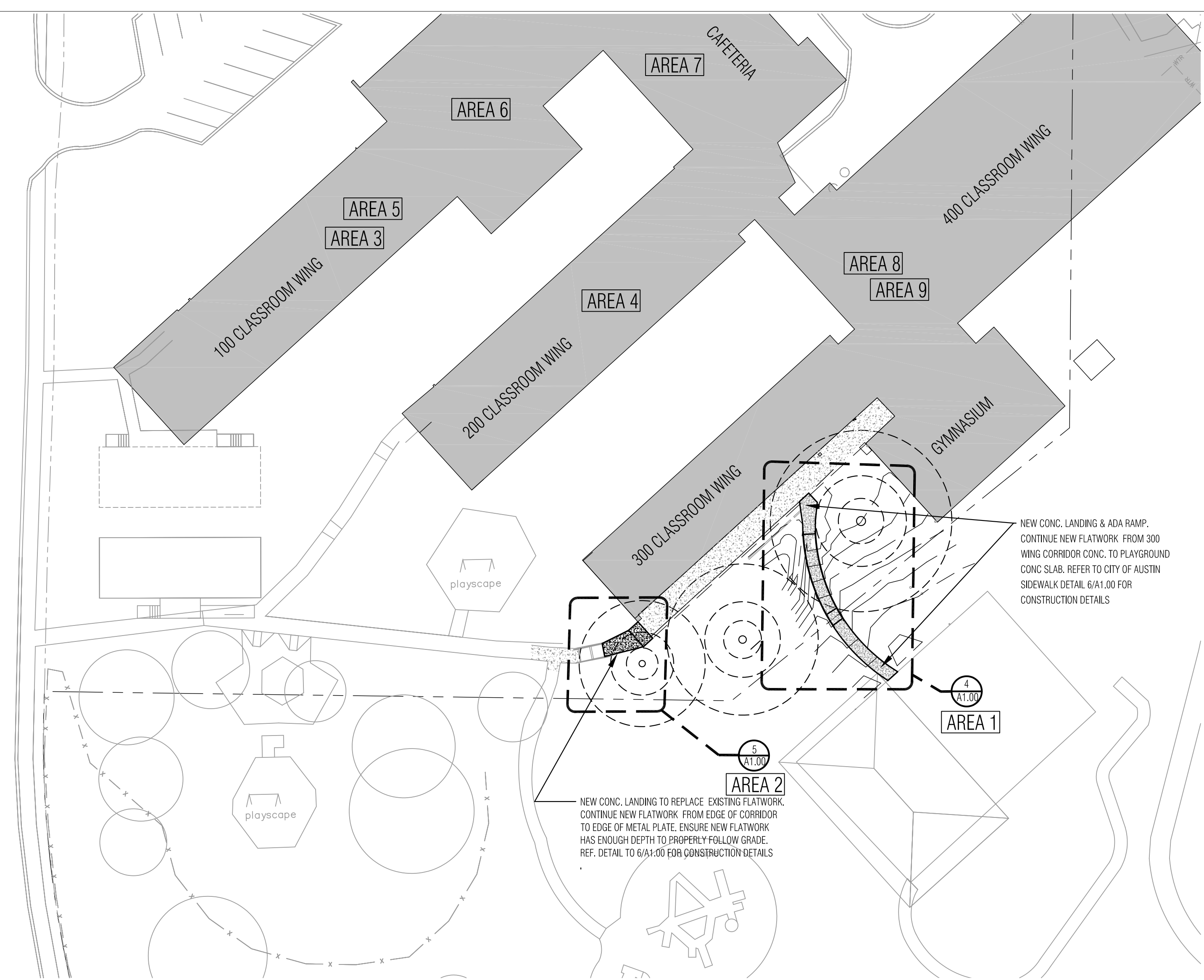
Director	Drawn By
RJ	
Designer	Quality Control
VLK	VLK
Proj. Coord.	
WW	

PROJECT NO.

1831.00

SHEET TITLE

SHEET NO.



ARCHITECT
VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.297.3145
www.vlkarchitects.com

M.E.P. ENGINEER
DBR-JONES
7800 Shoal Creek Blvd
SUITE #100
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE
ENGINEERED EXTERIORS
13740 Research Blvd, C2
Austin, Texas 78750
Main Phone: 512.571.3530
www.engexteriors.com

ARCHITECT
RELIANCE ARCHITECTURE
1306 Barrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

TECHNOLOGY
COMBS CONSULTING
4425 S. Mopac, Bldg. 4, Ste. 800
Austin, Texas 78735
Main Phone: 512.773.6580
www.combs-group.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

REVISIONS
Revision No.

Director: RJ
Designer: VLK
Proj. Coord.: WW
Drawn By: WW/
Quality Control: VLK

PROJECT NO.
1831.00

SHEET TITLE
DEMOLITION FLOOR PLAN

SHEET NO.

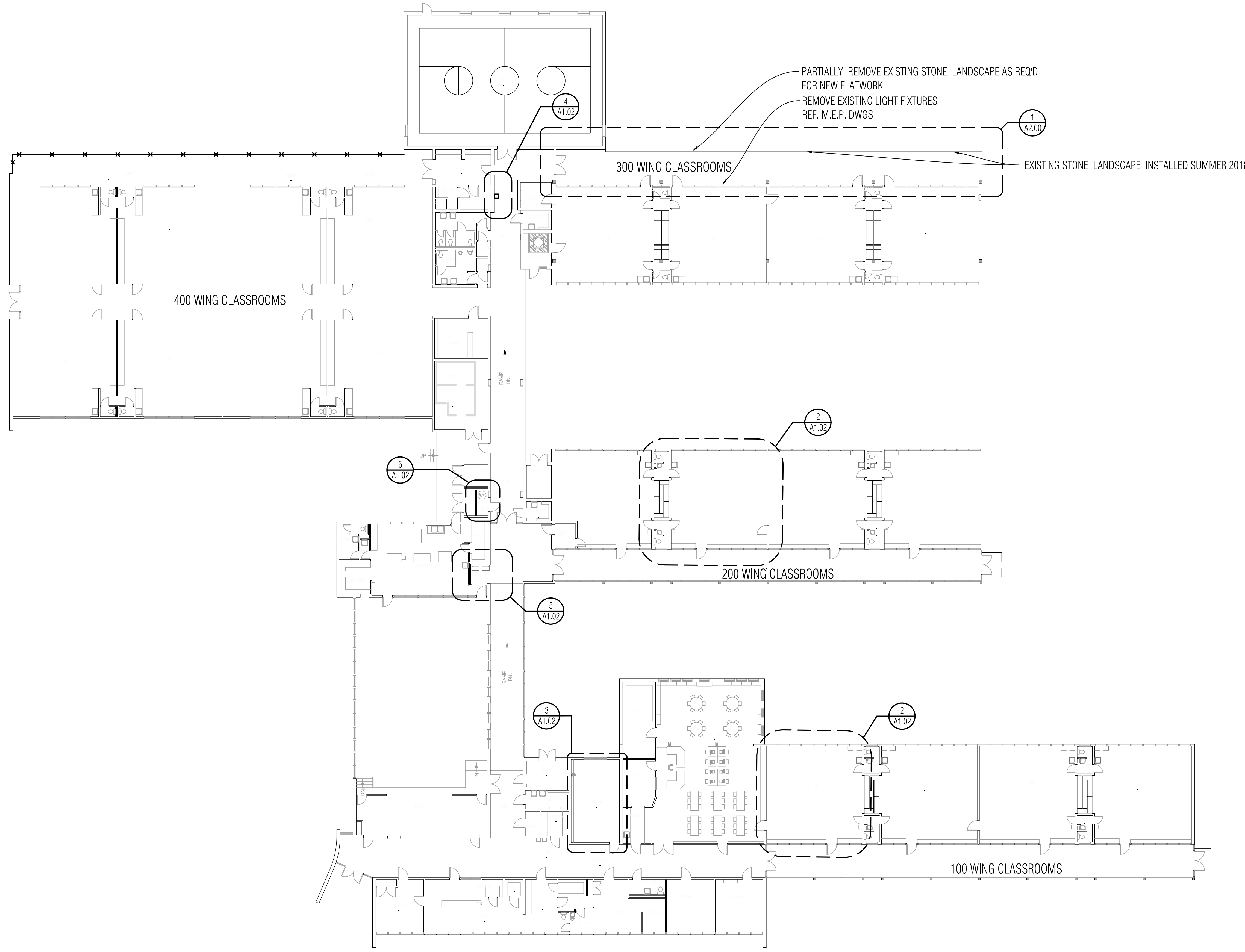
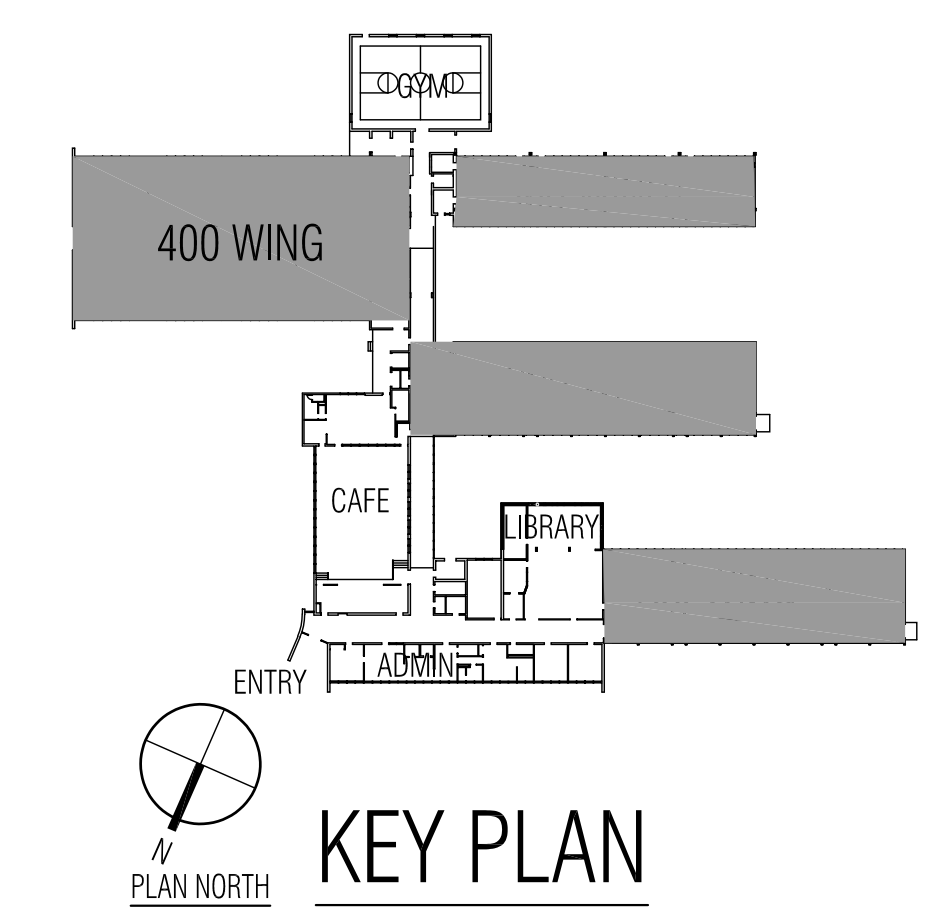
A1.01

GENERAL DEMO NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT.
2. SUBMISSION OF A PROPOSAL WILL ALSO BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR ACKNOWLEDGES THAT THE PLANS ARE SUFFICIENT TO DO WORK AND THE ABOVE SITE EXAMINATION HAS BEEN MADE, LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORSEEN HAD SUCH AN EXAMINATION BEEN MADE. PROVIDING A BID FOR THE WORK IS ACKNOWLEDGING THAT PLANS ARE SUFFICIENT TO DO WORK.
3. REMOVE NOTED PLUMBING FIXTURES, CASEWORK. COORDINATE WITH ENGINEERS DEMOLITION DRAWINGS.
4. REMOVE EXISTING FINISHED FLOORING AND ADHESIVE WHERE SPECIFIED. SCRAPE AND CLEAN IN ORDER TO PREPARE SLAB FOR SCHEDULED FINISHES AS REQUIRED BY MANUFACTURER FOR PROPER INSTALLATION.
5. COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. THESE ITEMS MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:
 - A) CASEWORK
 - B) EXISTING FIXED FURNITURE
 - C) LIGHT FIXTURES
 - D) DOORS AND WINDOWS
 - E) EXISTING FURNITURE
 - F) DATA SYSTEM
 - G) CLOCK SYSTEM
 - H) HVAC UNIT
 - I) SECURITY SYSTEM
6. CAUSE NO DAMAGE TO EXISTING CONSTRUCTION. TAKE CARE NOT TO ENCROACH INTO ADJACENT AREAS NOT WITHIN THE SCOPE OF WORK.
7. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, SIDEWALKS, AND OTHER ADJACENT OCCUPIED SPACES. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
8. UPON COMPLETION, CLEAN AREAS TO A UNIFORM CONDITION REMOVING ALL DEBRIS, DUST PARTITIONS AND ASSOCIATED MATERIALS USED DURING THE DEMOLITION. THIS INCLUDES AREAS IMPACTED BY THE DEMOLITION AND THAT OTHERWISE WOULD NOT BE PART OF THE SCOPE OF WORK.
9. OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER ENVIRONMENTAL GROUP ON MAY 19, 2016, WHICH DESIGNATES AREAS WHERE ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS WHERE ASBESTOS IS LOCATED. SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK, IMMEDIATELY CONTACT AISD PROJECT MANAGER AND ARCHITECT.
10. REFER TO A1.04 FOR WORK REQUIRED AT EACH LOCATION.
11. REFER TO A1.04 FOR DEMOLITION IN A TYPICAL CLASSROOM.
12. REFER TO MEP SHEETS FOR MECHANICAL, PLUMBING AND ELECTRICAL FOR SPECIFIC DEMOLITION NOTES REGARDING THESE DISCIPLINES.
13. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS FOR EXACT LOCATION OF NEW CLASSROOM SINKS.

DEMOLITION LEGEND

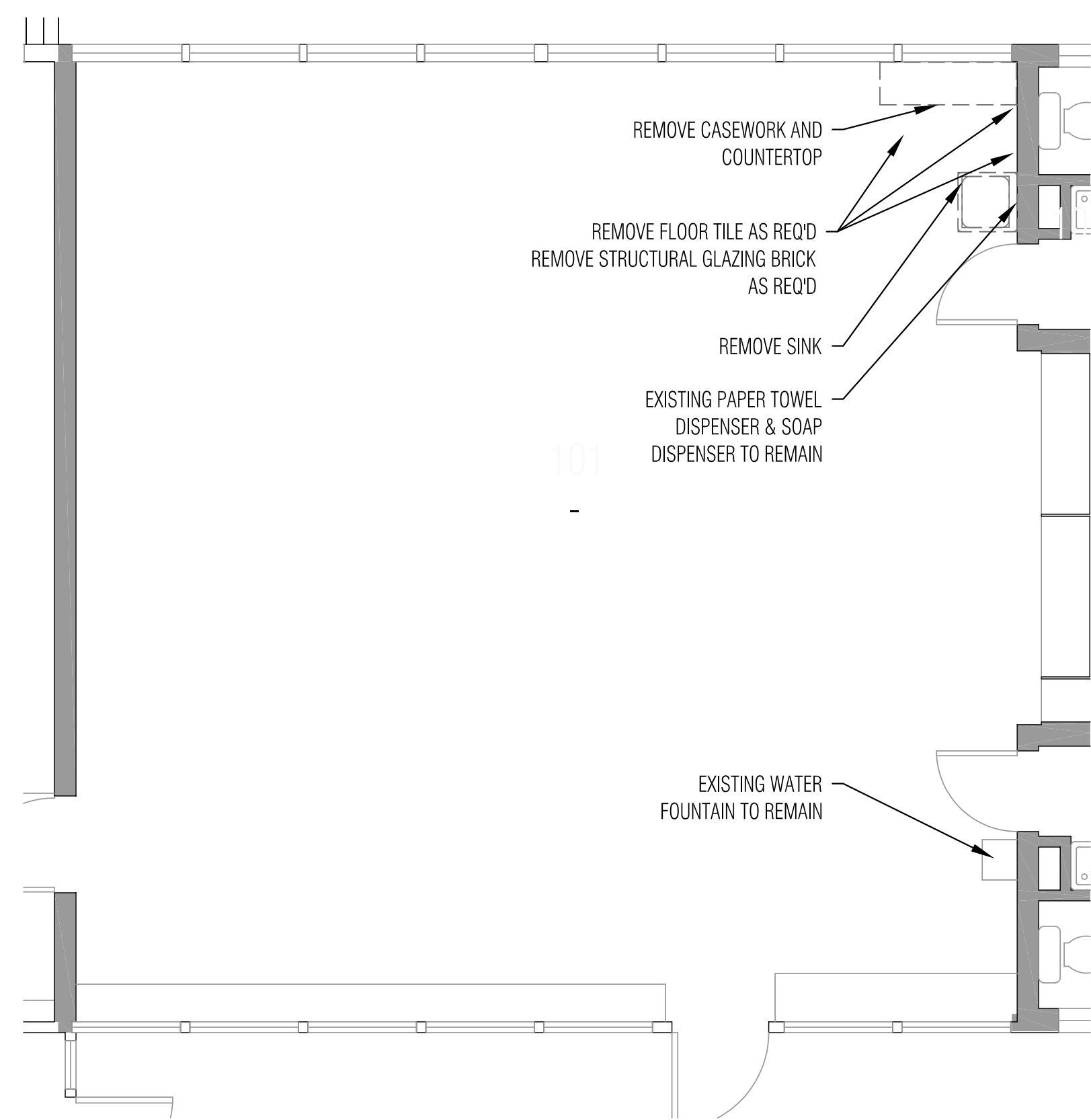
	EXISTING CASEWORK TO BE REMOVED
	EXISTING PLUMBING FIXTURE TO BE REMOVED
	EXISTING PLUMBING FIXTURE TO REMAIN



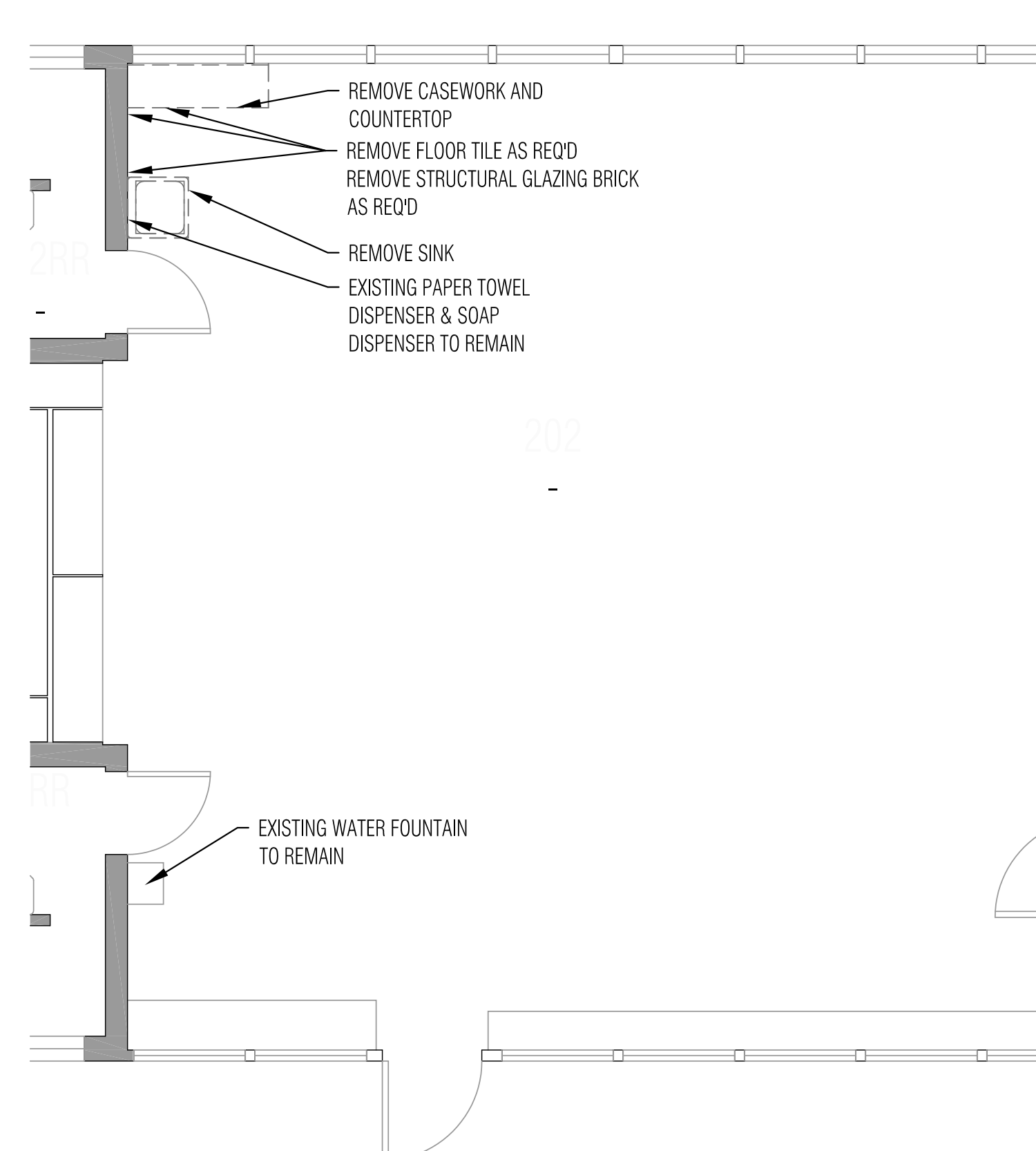
DENSON DRIVE

1 DEMOLITION FLOOR PLAN
SCALE: 1" = 1/16"

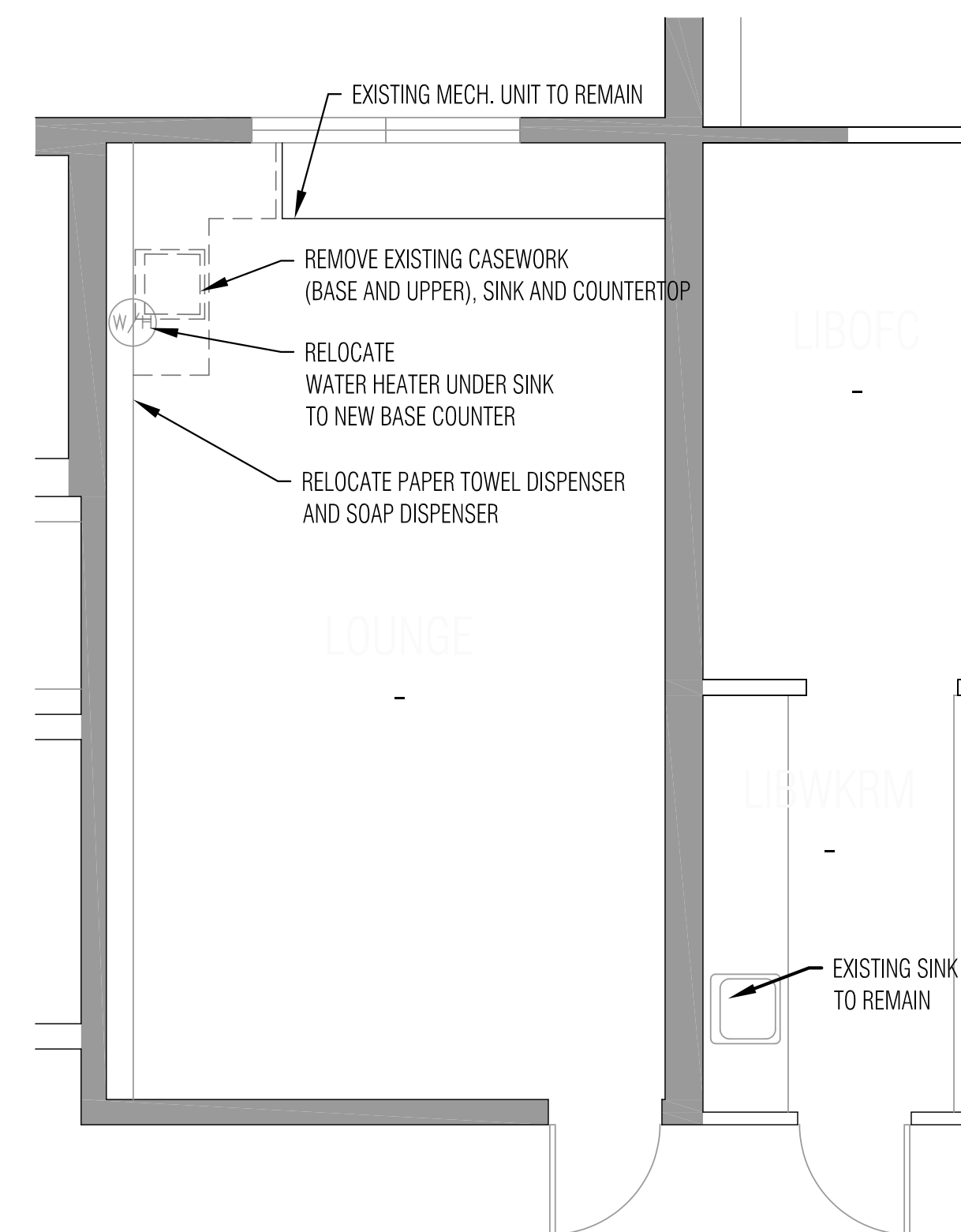




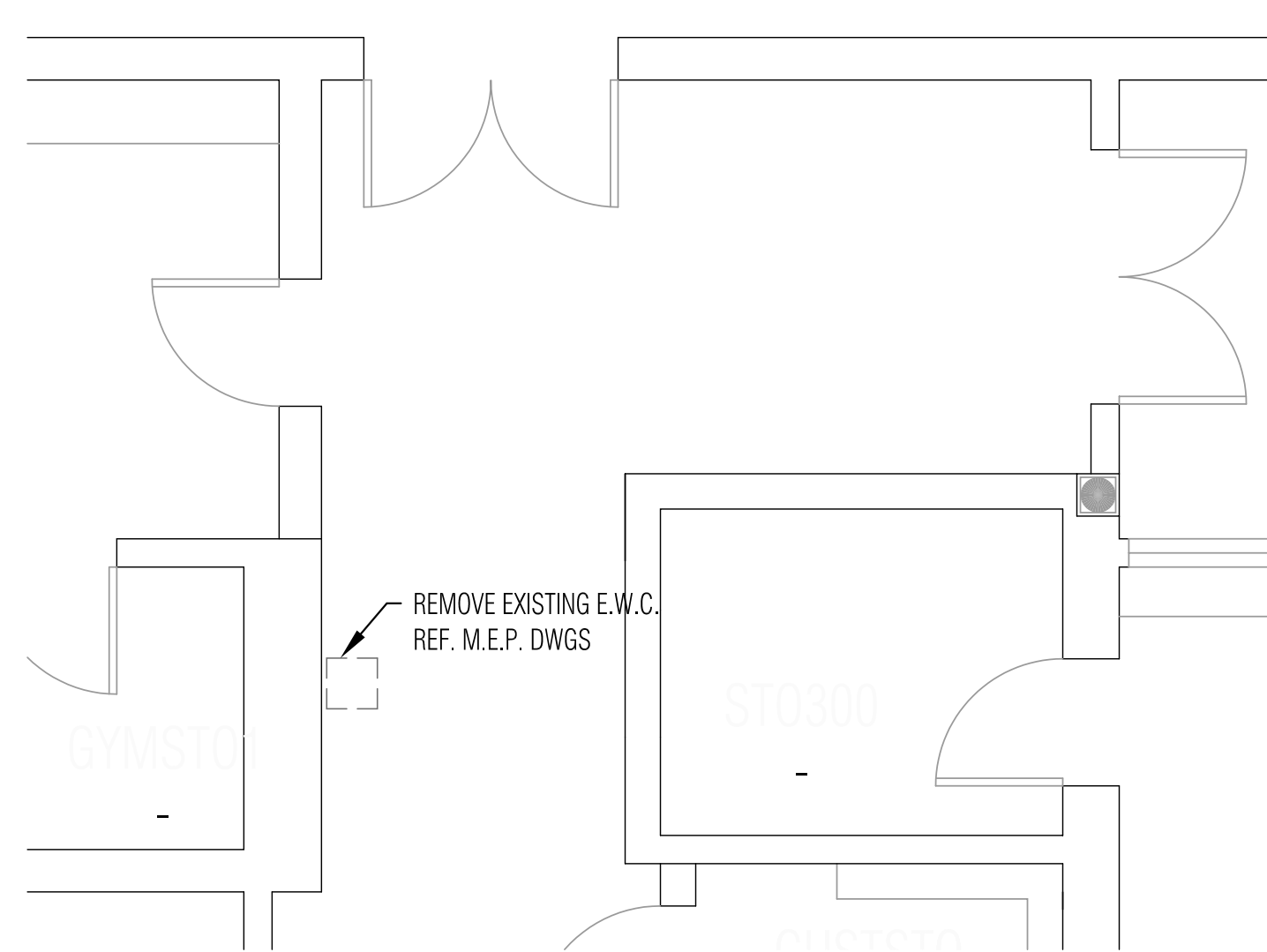
1 ENLARGED DEMO PLAN 101, 103, 201, 203
SCALE: 1"= 1/4"



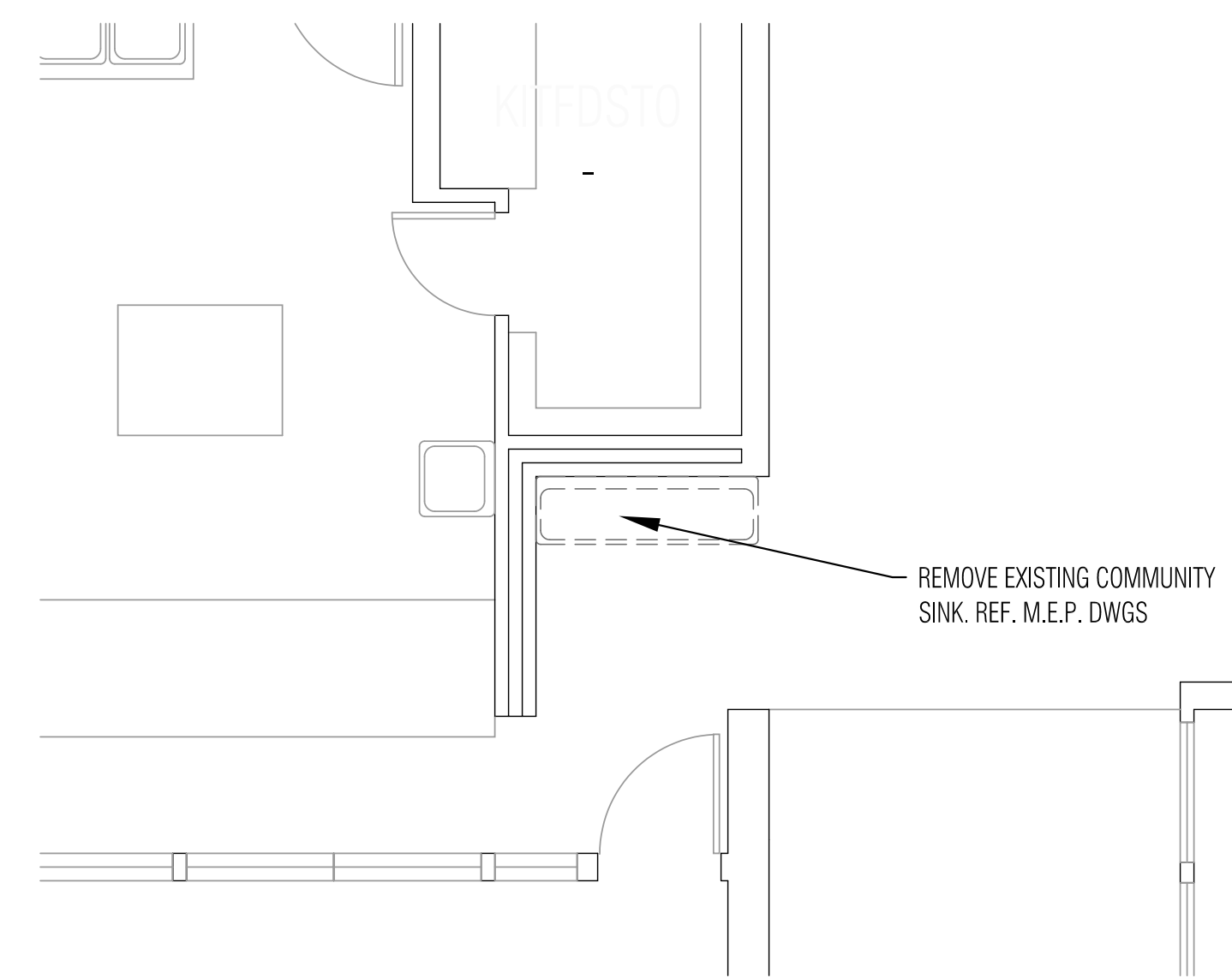
2 ENLARGED DEMO PLAN 102, 104, 202, 204
SCALE: 1"= 1/4"



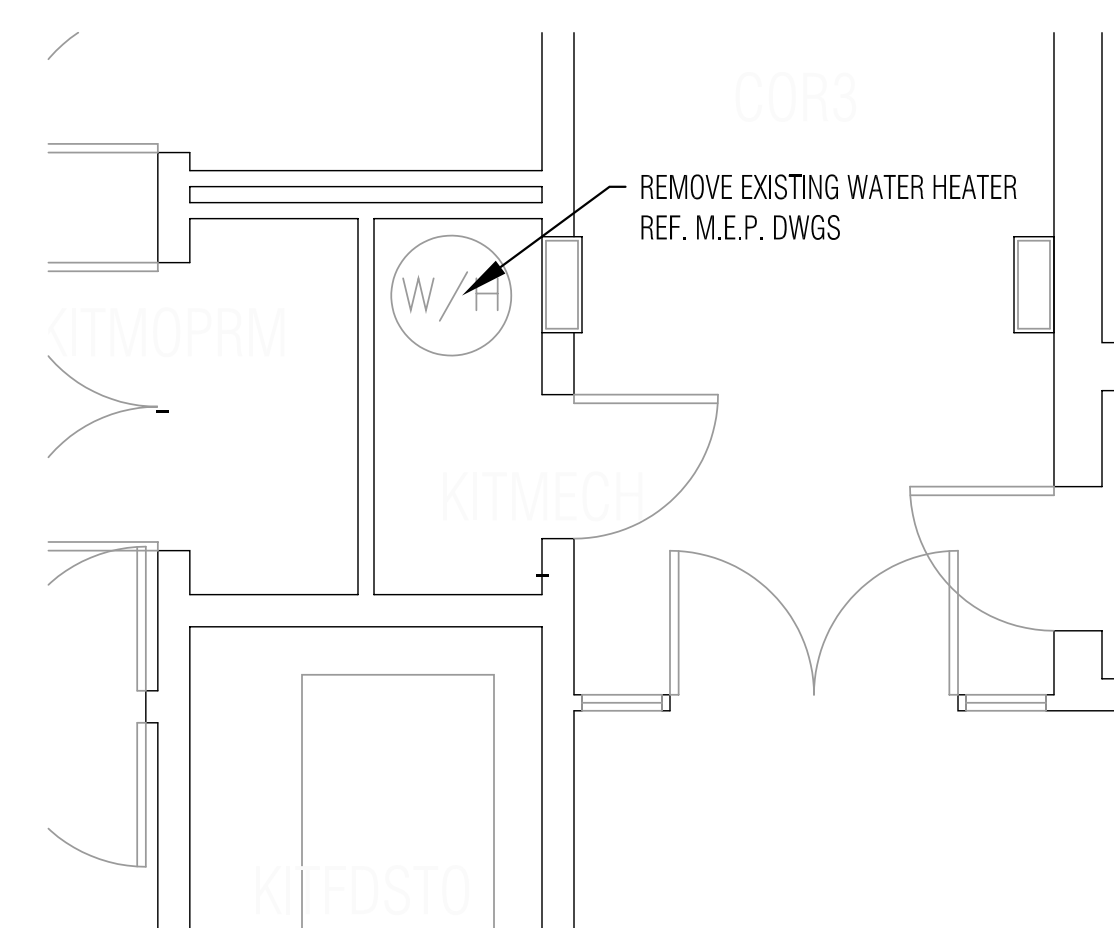
3 ENLARGED DEMO PLAN LOUNGE
SCALE: 1"= 1/4"



4 ENLARGED DEMO PLAN EWC @ CORRIDOR
SCALE: 1"= 1/4"



5 ENLARGED DEMO PLAN EWC @ CORRIDOR
SCALE: 1"= 1/4"



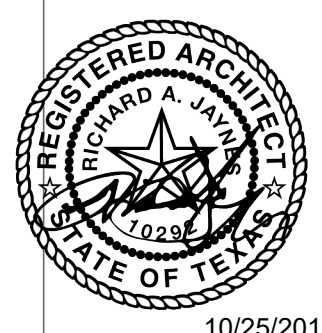
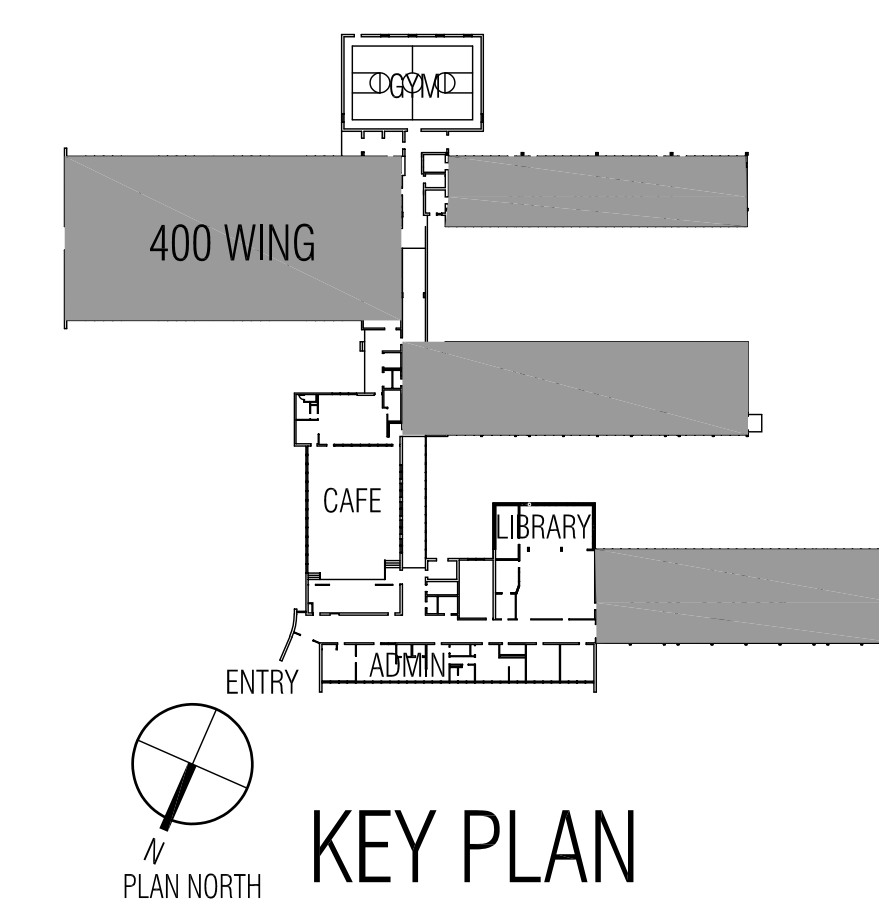
6 ENLARGED DEMO PLAN EWC @ CORRIDOR
SCALE: 1"= 1/4"

GENERAL DEMO NOTES

- THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE EXISTING CONDITIONS ASSOCIATED WITH THE SCOPE OF WORK AND ADJACENT AREAS TO ASCERTAIN THE DIFFICULTIES WHICH WILL AFFECT THE EXECUTION OF THE WORK OF THIS CONTRACT.
- SUBMISSION OF A PROPOSAL WILL ALSO BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR ACKNOWLEDGES THAT THE PLANS ARE SUFFICIENT TO DO WORK AND THE ABOVE SITE EXAMINATION HAS BEEN MADE, LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORSEEN HAD SUCH AN EXAMINATION BEEN MADE. PROVIDING A BID FOR THE WORK IS ACKNOWLEDGING THAT PLANS ARE SUFFICIENT TO DO WORK.
- REMOVE NOTED PLUMBING FIXTURES, CASEWORK. COORDINATE WITH ENGINEERS DEMOLITION DRAWINGS.
- REMOVE EXISTING FINISHED FLOORING AND ADHESIVE WHERE SPECIFIED. SCRAPE AND CLEAN IN ORDER TO PREPARE SLAB FOR SCHEDULED FINISHES AS REQUIRED BY MANUFACTURER FOR PROPER INSTALLATION.
- COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. THESE ITEMS MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:
 - CASEWORK
 - EXISTING FIXED FURNITURE
 - LIGHT FIXTURES
 - DOORS AND WINDOWS
 - EXISTING FURNITURE
 - DATA SYSTEM
 - CLOCK SYSTEM
 - HVAC UNIT
 - SECURITY SYSTEM
- CAUSE NO DAMAGE TO EXISTING CONSTRUCTION. TAKE CARE NOT TO ENCROACH INTO ADJACENT AREAS NOT WITHIN THE SCOPE OF WORK.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, SIDEWALKS, AND OTHER ADJACENT OCCUPIED SPACES. COMPLY WITH LOCAL JURISDICTION REQUIREMENTS FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
- UPON COMPLETION, CLEAN AREAS TO A UNIFORM CONDITION REMOVING ALL DEBRIS, DUST PARTITIONS AND ASSOCIATED MATERIALS USED DURING THE DEMOLITION. THIS INCLUDES AREAS IMPACTED BY THE DEMOLITION AND THAT OTHERWISE WOULD NOT BE PART OF THE SCOPE OF WORK.
- OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER ENVIRONMENTAL GROUP ON MAY 19, 2016, WHICH DESIGNATES AREAS WHERE ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS WHERE ASBESTOS IS LOCATED. SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK, IMMEDIATELY CONTACT AISD PROJECT MANAGER AND ARCHITECT.
- REFER TO A1.04 FOR WORK REQUIRED AT EACH LOCATION.
- REFER TO A1.04 FOR DEMOLITION IN A TYPICAL CLASSROOM.
- REFER TO MEP SHEETS FOR MECHANICAL, PLUMBING AND ELECTRICAL FOR SPECIFIC DEMOLITION NOTES REGARDING THESE DISCIPLINES.
- CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS FOR EXACT LOCATION OF NEW CLASSROOM SINKS.

DEMOLITION LEGEND

- EXISTING CASEWORK TO BE REMOVED
- EXISTING PLUMBING FIXTURE TO BE REMOVED
- EXISTING PLUMBING FIXTURE TO REMAIN



10/25/2018



ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.297.3145
www.vlkarchitects.com

M.E.P. ENGINEER

DBR-JONES
7800 Shoal Creek Blvd
SUITE #100
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS
13740 Research Blvd, C2
Austin, Texas 78750
Main Phone: 512.571.3530
www.engexteriors.com

ARCHITECT

RELIANCE ARCHITECTURE
1306 Barrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

TECHNOLOGY

COMBS CONSULTING
4425 S. Mopac, Bldg. 4, Ste. 800
Austin, Texas 78735
Main Phone: 512.773.6580
www.combs-group.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.

Director	Drawn By
RJ	WW/
Designer	Quality Control
VLK	VLK
Proj. Coord.	
WW	

PROJECT NO.

1831.00

SHEET TITLE

ENLARGED DEMOLITION
FLOOR PLAN

SHEET NO.

A1.02

COPYRIGHT © 2018 VLK ARCHITECTS

Renovations to Reilly Elementary School

AUSTIN ISD
AUSTIN, TEXAS

ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.207.3145
www.vlkarchitects.com

M.E.P. ENGINEER

DBR-JONES
7800 Shoal Creek Blvd
SUITE #100
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS

13740 Research Blvd, C2
Austin, Texas 78750
Main Phone: 512.571.3530
www.engexteriors.com

ARCHITECT

RELIANCE ARCHITECTURE

1306 Barrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

TECHNOLOGY

COMBS CONSULTING

4425 S. Mopac, Bldg. 4, Ste. 800
Austin, Texas 78735
Main Phone: 512.773.6580
www.combs-group.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL

ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.

Director	Drawn By
RJ	WW
Designer	Quality Control
VLK	VLK
Proj. Coord.	
WW	

PROJECT NO.

1831.00

SHEET TITLE

FLOOR PLAN

SHEET NO.

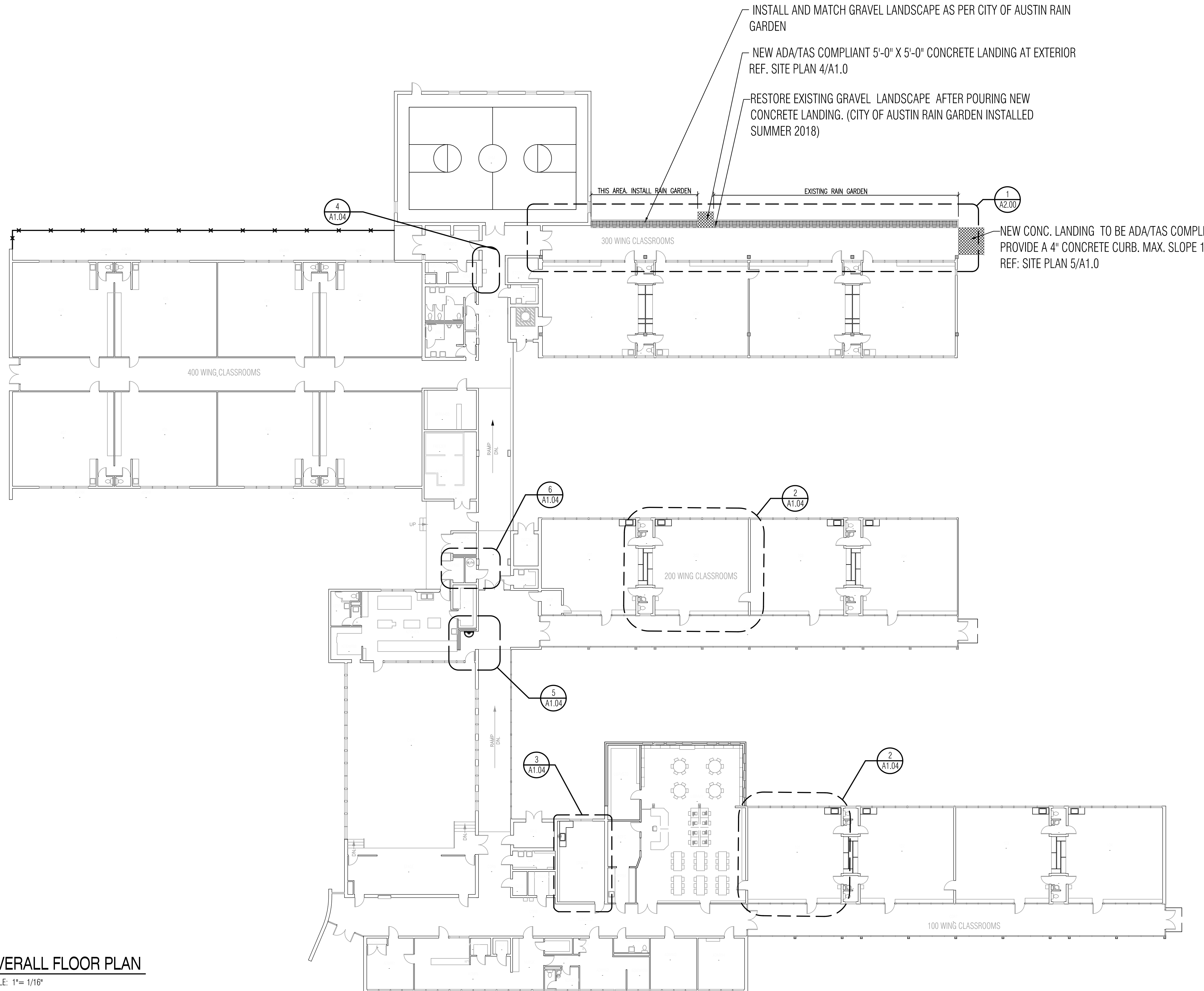
A1.03

COPYRIGHT © 2018 VLK ARCHITECTS

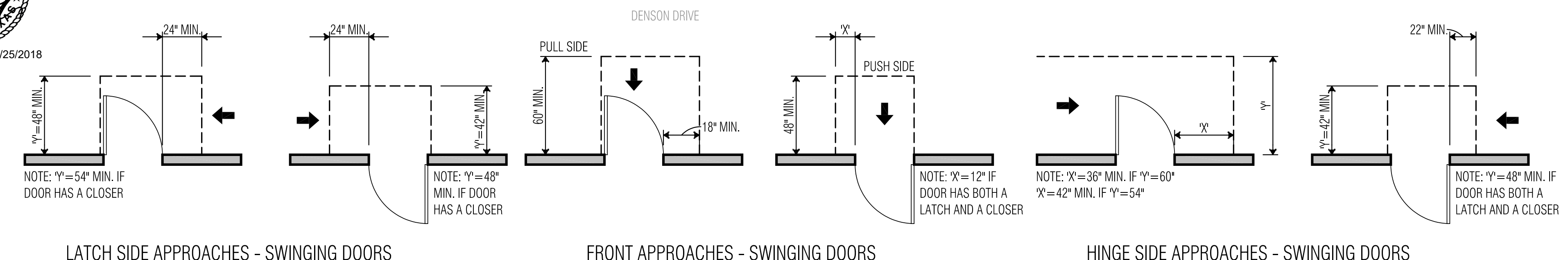
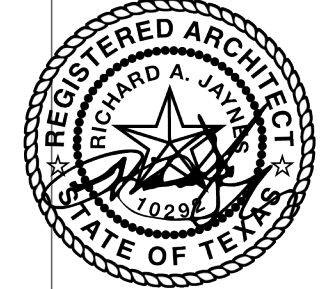
GENERAL NOTES

- OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER ENVIRONMENTAL GROUP ON MAY 19, 2006, WHICH DESIGNATES AREAS WHERE ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS WHERE ASBESTOS IS LOCATED. SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK, IMMEDIATELY CONTACT AISD PROJECT MANAGER AND ARCHITECT.
- REFER TO A1.04 FOR WORK IN CLASSROOMS
- REFER TO A2.00 FOR WORK IN WING 300 CORRIDOR
- REFER TO MEP SHEETS FOR NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
- CONTRACTOR TO COORDINATE WITH MILLWORK DETAILS AND MEP DRAWINGS FOR LOCATION OF NEW CLASSROOM SINKS.

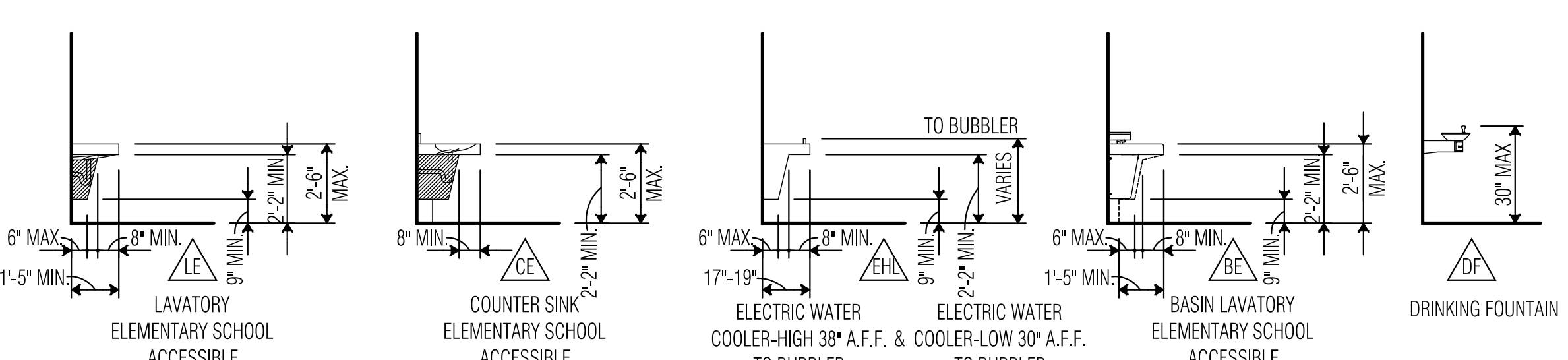
- INSTALL AND MATCH GRAVEL LANDSCAPE AS PER CITY OF AUSTIN RAIN GARDEN
- NEW ADA/TAS COMPLIANT 5'-0" X 5'-0" CONCRETE LANDING AT EXTERIOR REF. SITE PLAN 4/A1.0
- RESTORE EXISTING GRAVEL LANDSCAPE AFTER POURING NEW CONCRETE LANDING. (CITY OF AUSTIN RAIN GARDEN INSTALLED SUMMER 2018)



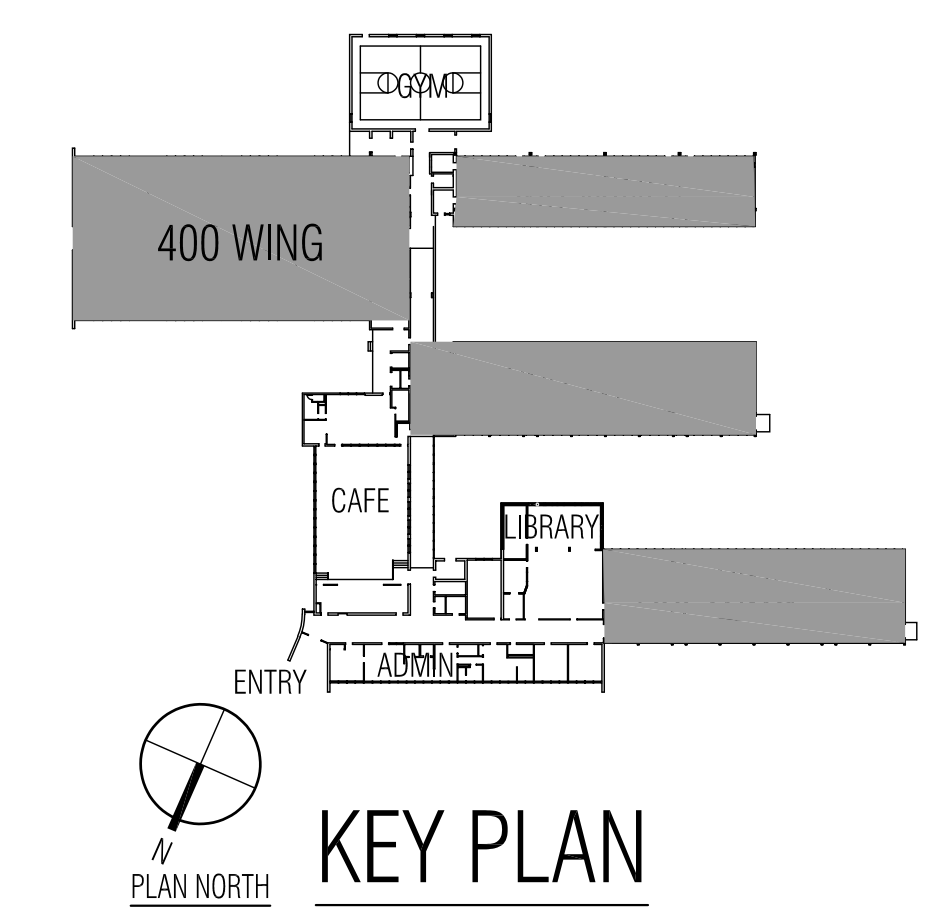
1 OVERALL FLOOR PLAN
SCALE: 1"= 1/16"



2 TYPICAL MANEUVERING CLEARANCES AT DOORS
SCALE: 1"= 1/16"



3 TYPICAL PLUMBING FIXTURE MOUNTING HEIGHTS
SCALE: 1"= 1/16"



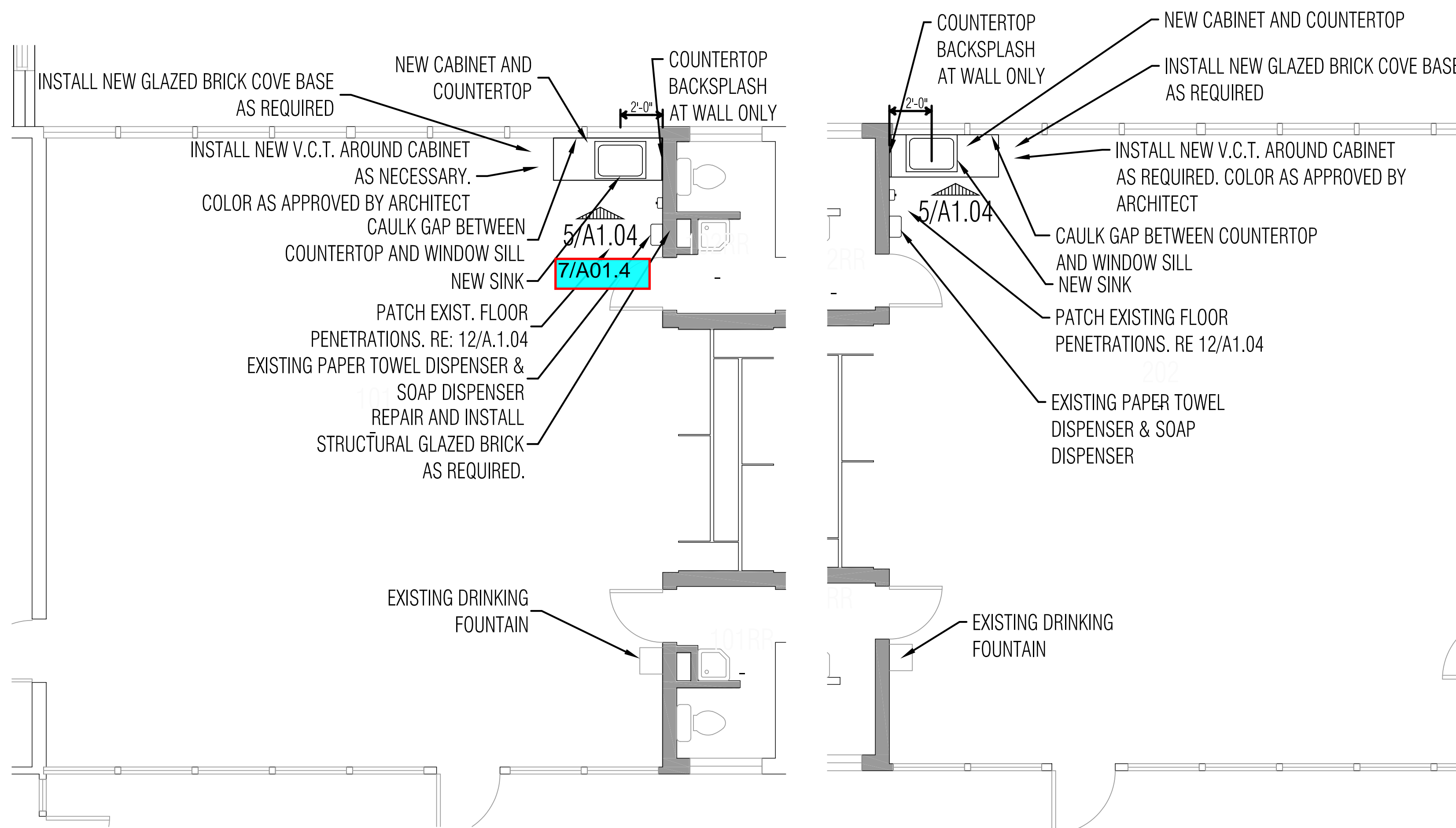
GENERAL NOTES

OWNER HAS PROVIDED HAZARDOUS MATERIALS REPORT PREPARED BY FARMER ENVIRONMENTAL GROUP ON MAY 19, 2006, WHICH DESIGNATES AREAS WHERE ASBESTOS HAS BEEN LOCATED. THE REPORT AND ASBESTOS ABATEMENT SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. CONTRACTOR SHALL REFER TO THE REPORT TO DETERMINE MATERIALS AND AREAS WHERE ASBESTOS IS LOCATED. SHALL CONTRACTOR BECOME AWARE OF ASBESTOS IN THE AREAS OF WORK, IMMEDIATELY NOTIFY AISD PROJECT MANAGER AND ARCHITECT.

- REFER TO A1.04 FOR WORK IN CLASSROOMS
- REFER TO A2.01 FOR WORK IN WING 300 CORRIDOR

4. REFER TO M.E.P. SHEETS FOR NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.

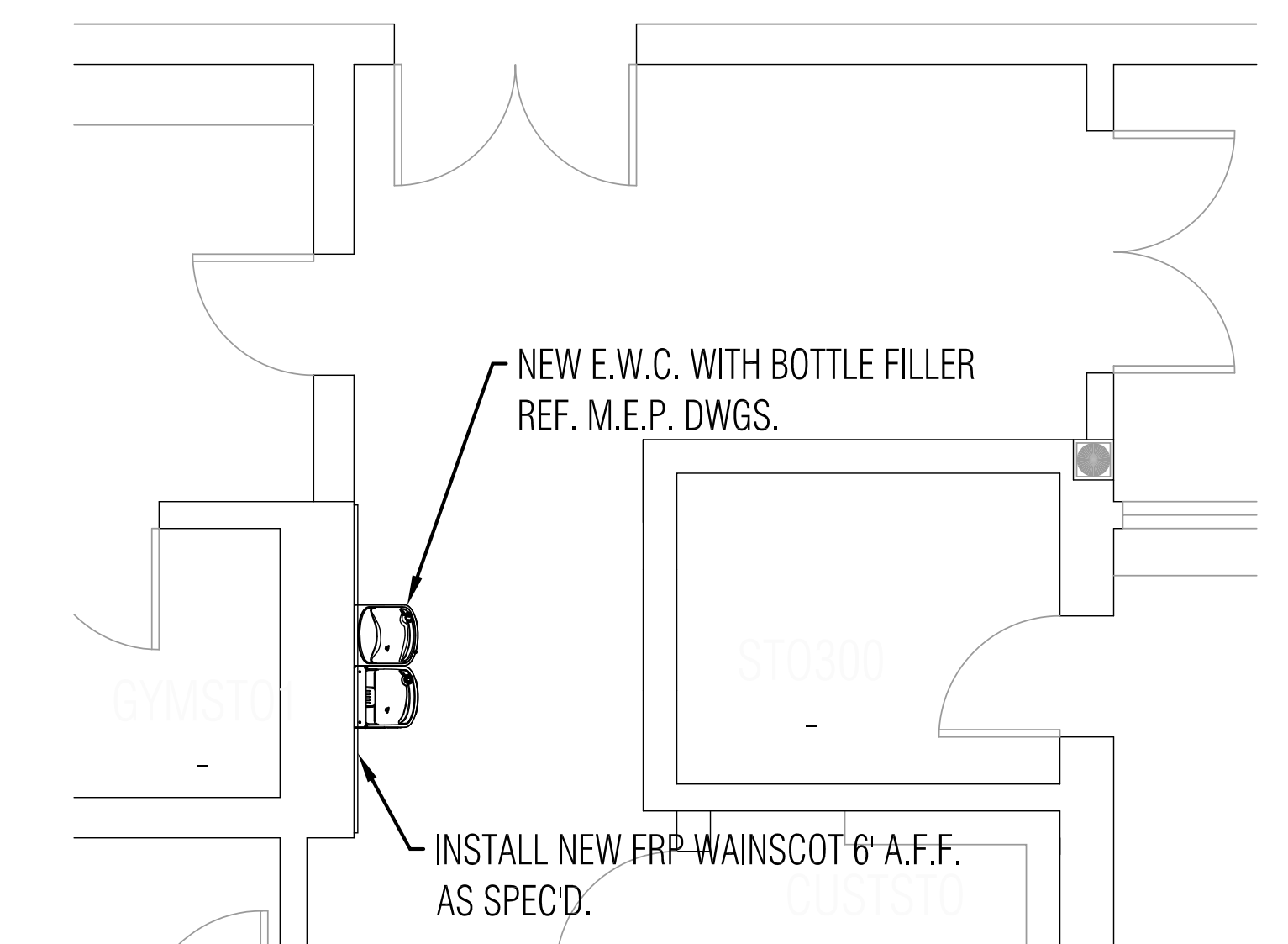
5. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS AND DETAILS OF NEW CLASSROOM SINKS.



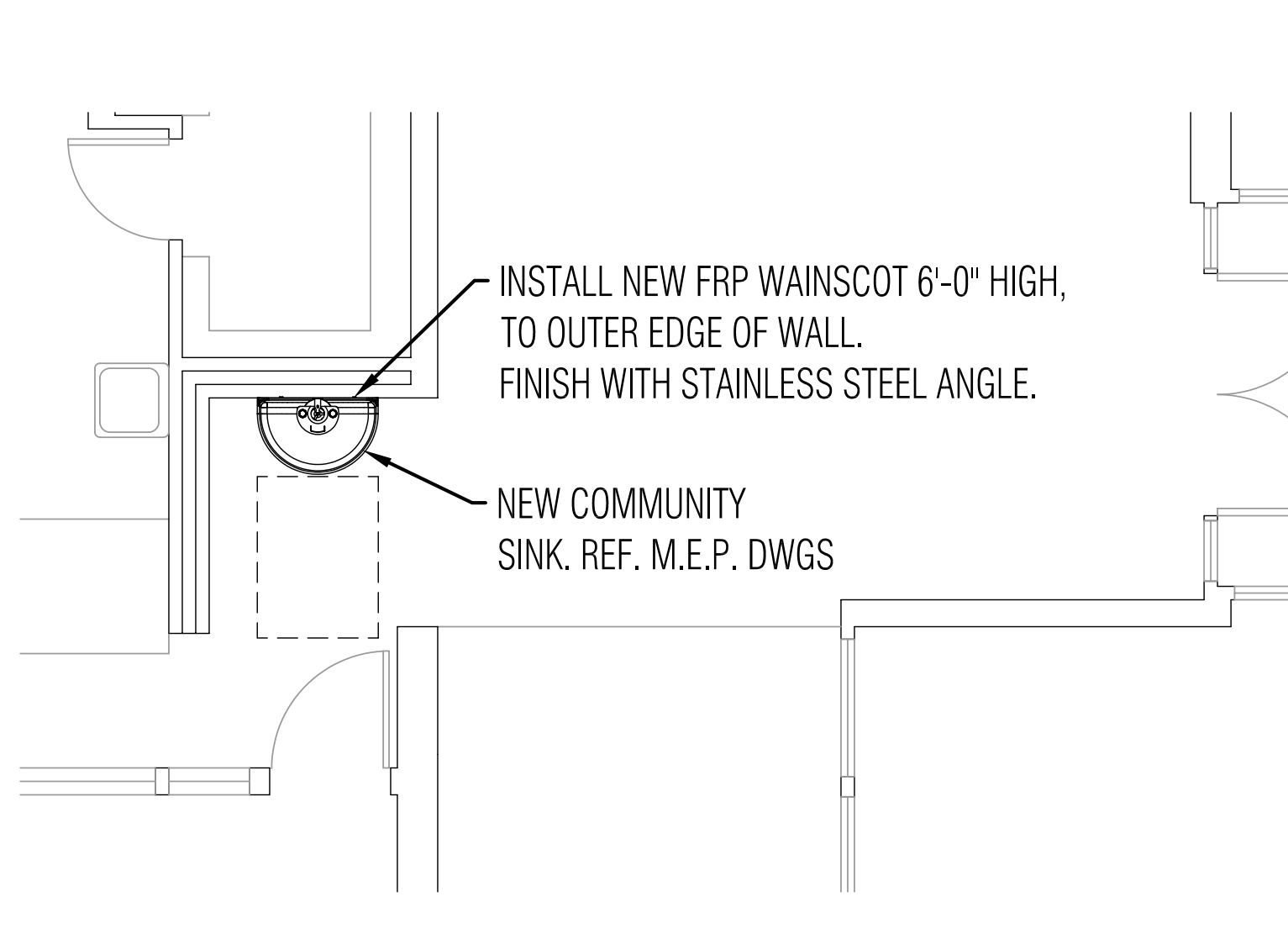
1 ENLARGED PLAN 101, 103, 201, 203
SCALE: 1" = 1/4"

2 ENLARGED PLAN 102, 104, 202, 204
SCALE: 1" = 1/4"

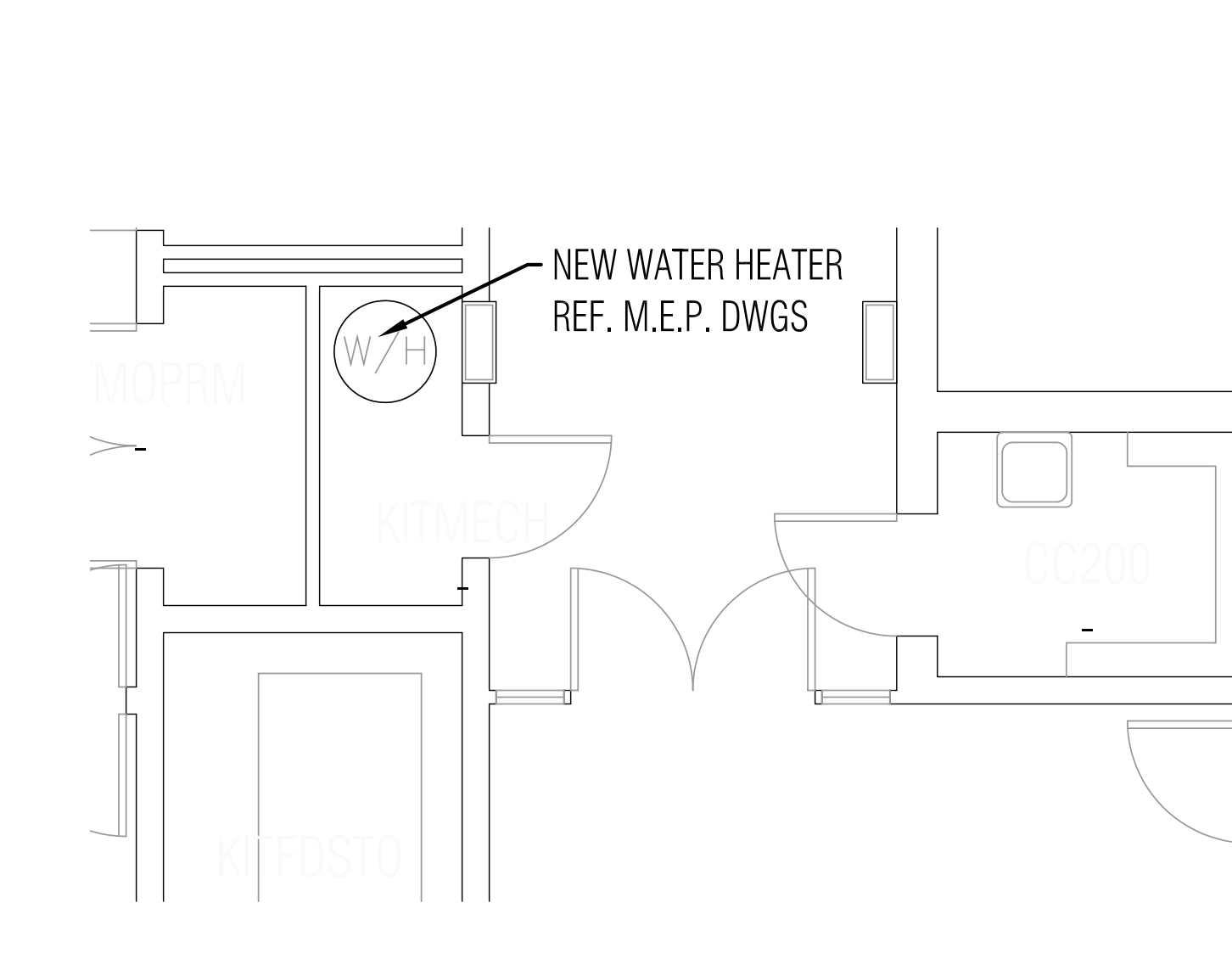
3 ENLARGED PLAN LOUNGE
SCALE: 1" = 1/4"



4 ENLARGED PLAN EWC @ CORRIDOR
SCALE: 1" = 1/4"



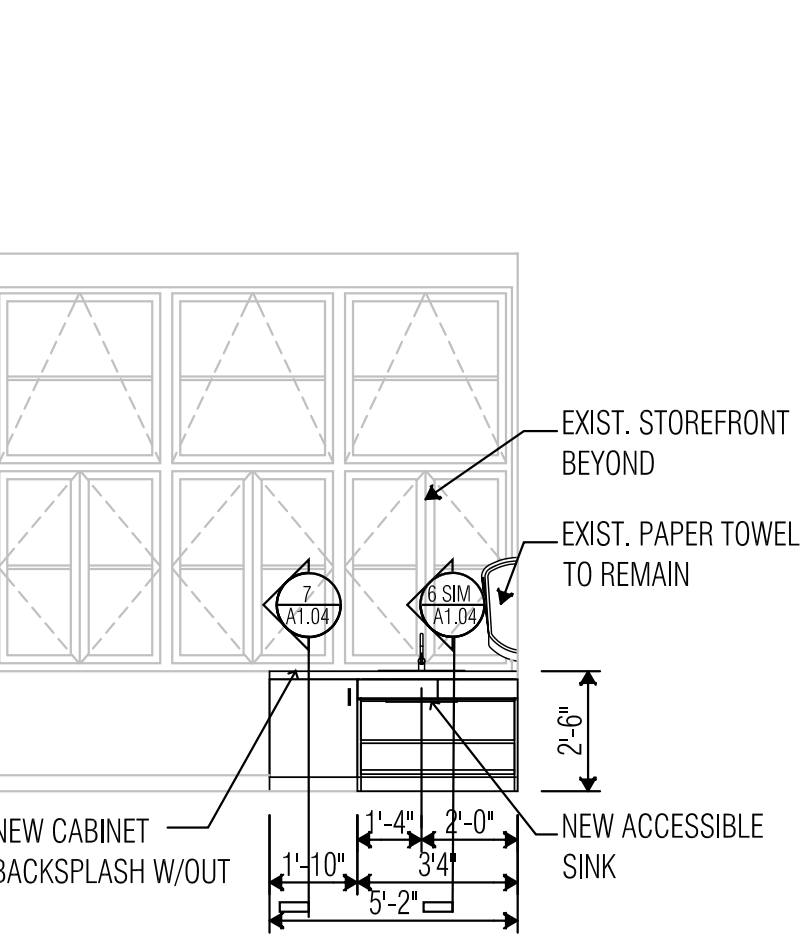
5 ENLARGED PLAN COMMUNITY SINK @ CAFETERIA
SCALE: 1" = 1/4"



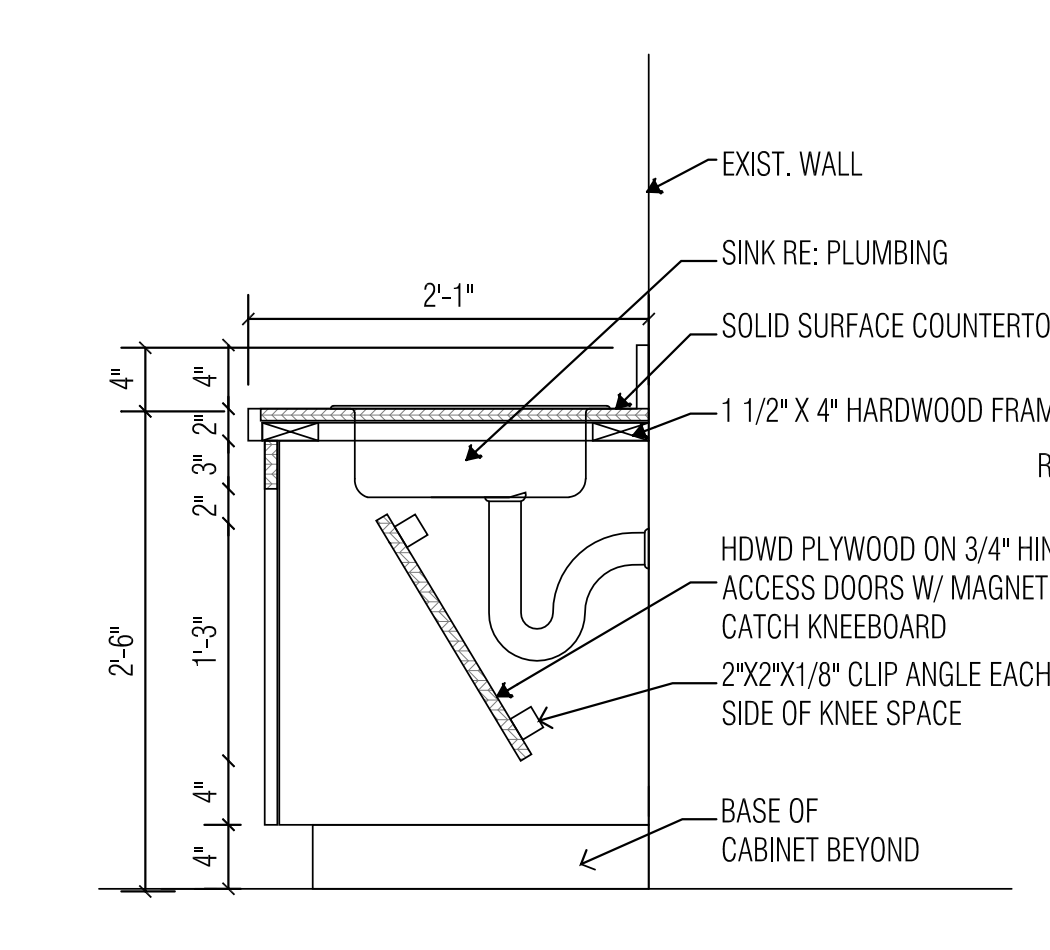
6 ENLARGED PLAN WATER HEATER CLOSET
SCALE: 1" = 1/4"



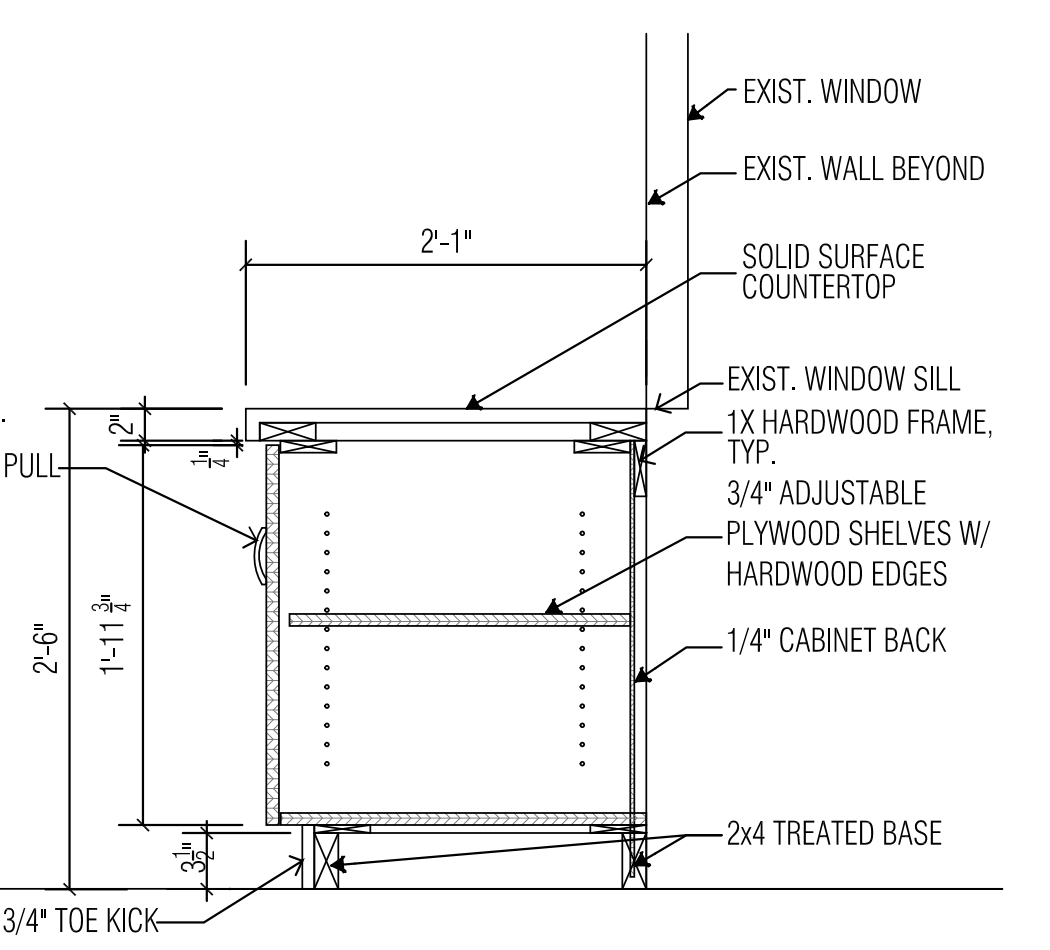
GENERAL CASEWORK NOTES:
 1. ALL CASEWORK 2'-6" OR GREATER SHALL HAVE A SHELF THICKNESS NO LESS THAN 1".
 2. VERIFY ALL COLUMN LOCATIONS PRIOR TO INSTALLATION OF CASEWORK.
 3. PROVIDE FINISHED SURFACE ON ALL EXPOSED SURFACES.
 4. PROVIDE FILLER PANELS, FILLER TRIM, AND FINISHED END PANELS AS REQ'D.
 5. CASEWORK SHALL MEET CRITERIA SET FORTH IN AMERICANS WITH DISABILITIES ACT AND TEXAS ACCESSIBILITY STANDARDS.
 6. CONTRACTOR TO VERIFY LOCATIONS OF ELECTRICAL AND/OR PLUMBING WITHIN CASEWORK AND MILLWORK. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.



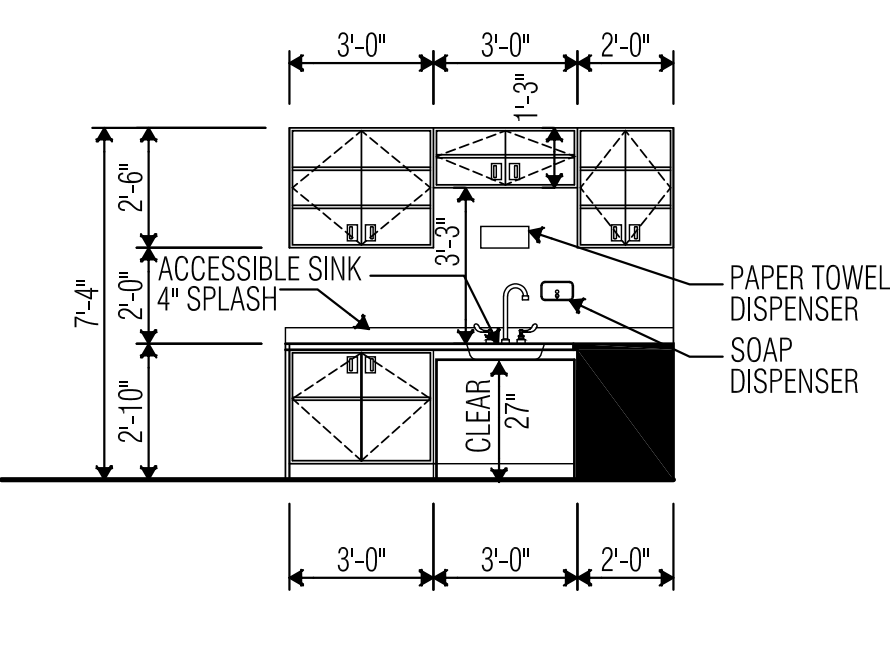
7 CABINERY ELEVATION
SCALE: 1/4" = 1'-0"



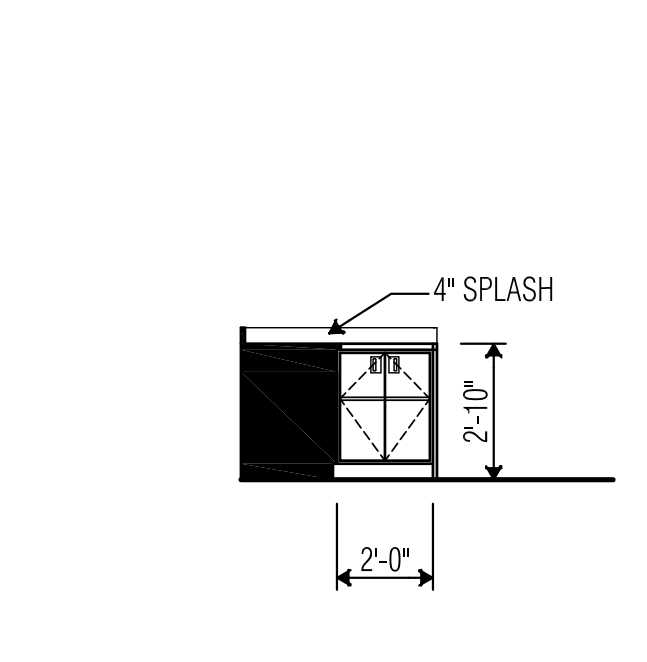
8 CABINERY DETAIL
SCALE: 1" = 1'-0"



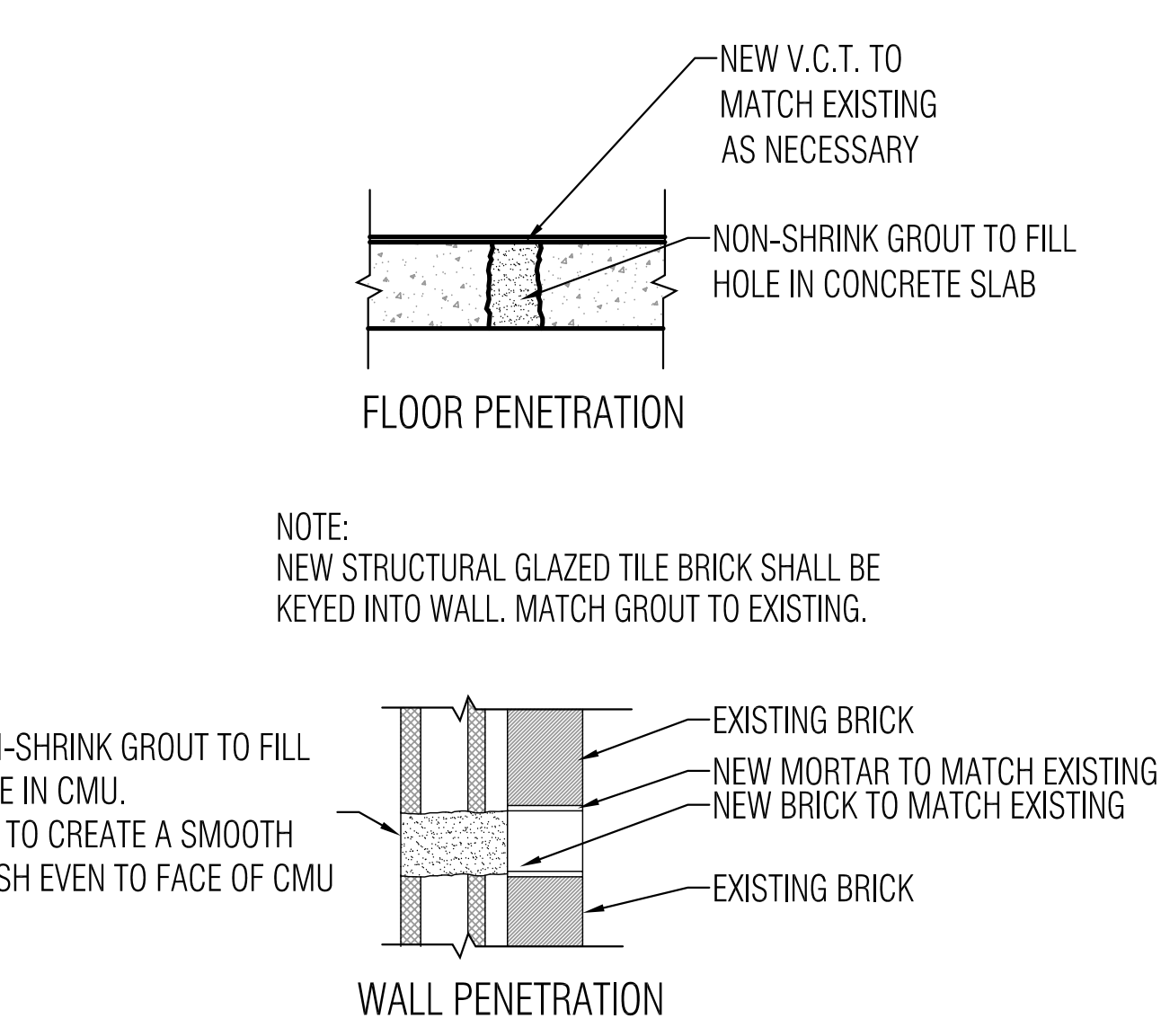
9 CABINERY DETAIL
SCALE: 1" = 1'-0"



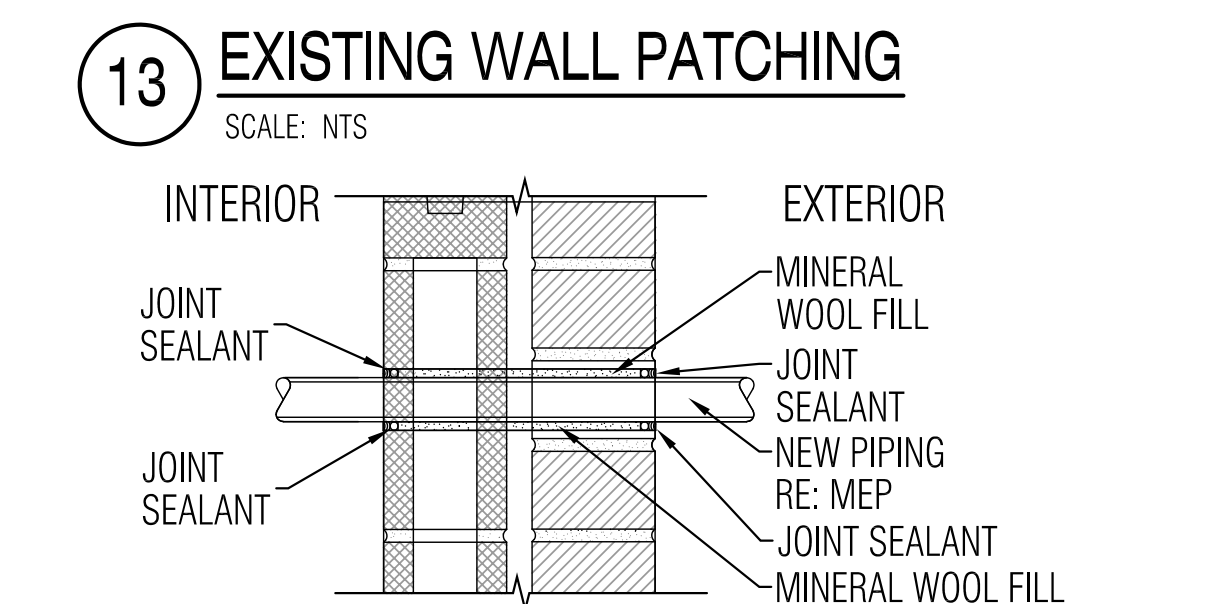
10 CABINERY ELEVATION
SCALE: 1/4" = 1'-0"



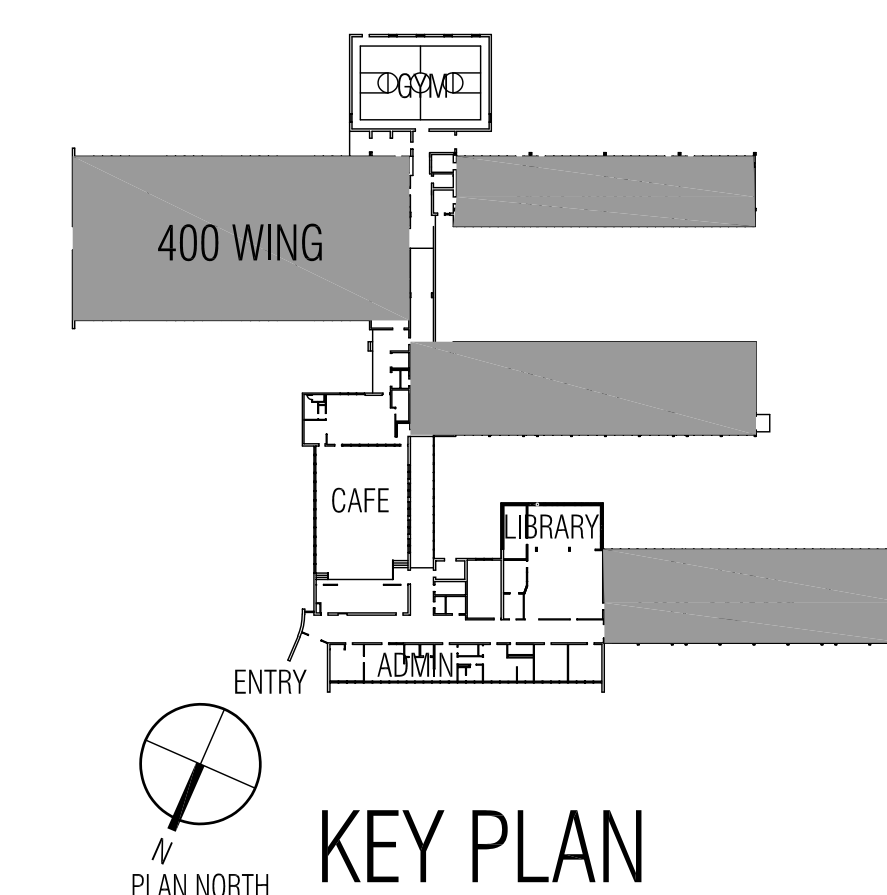
11 CABINERY ELEVATION
SCALE: 1/4" = 1'-0"



12 EXIST. PIPE PENETRATION PATCHING
SCALE: NTS



14 NEW THROUGH WALL PIPE PENETRATION
SCALE: NTS



14 NEW THROUGH WALL PIPE PENETRATION
SCALE: NTS

ARCHITECT
VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

M.E.P. ENGINEER
JONES*DBR
7800 Shoal Creek Blvd
SUITE #100-W
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE
ENGINEERED EXTERIORS
113740 Research Blvd. C2
Austin, Texas 78756
Main Phone: 512.571.3530
www.engexterior.com

ARCHITECT
RELIANCE ARCHITECTURE
1306 Berrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

REVISIONS
Revision No.

Director Drawn By
RJ
Designer Quality Control

Proj. Coord.
VW

PROJECT NO.
1831.00

SHEET TITLE
DEMO MECHANICAL
PLAN

SHEET NO.

M2.01

MECHANICAL GENERAL NOTES:

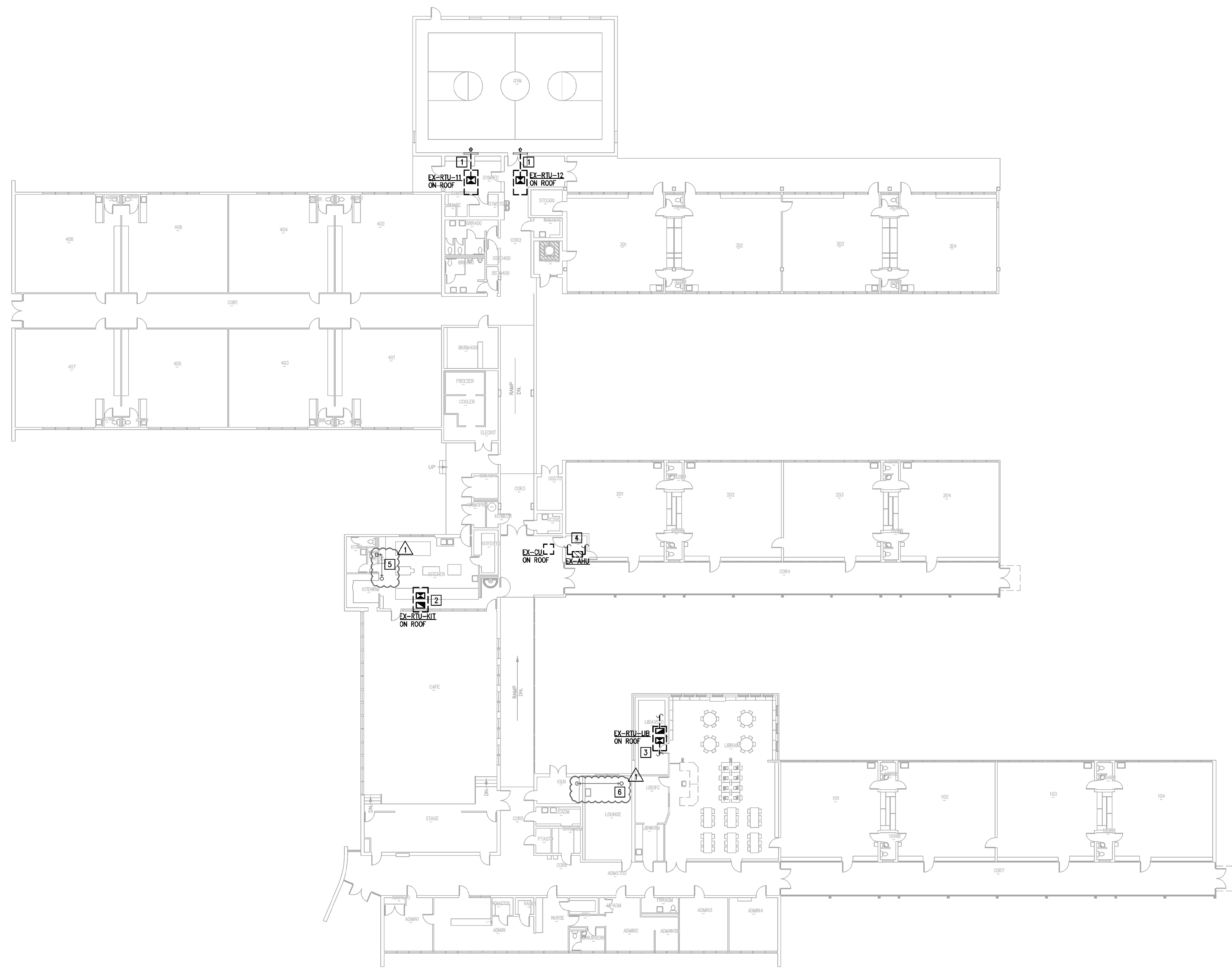
- A. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, CONDUIT, DUCTWORK, ETC., BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.
- C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL BUSINESS HOURS.
- D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE. SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL ACCESS, SCHEDULING, AND/OR SECURITY.
- E. PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- F. CONTRACTOR SHALL COORDINATE REMOVAL AND OFF-SITE DISPOSAL OF EXISTING MATERIALS AND ROUTING OF ANY NEW PIPING, CONDUIT, DUCTWORK AT THE JOB SITE TO AVOID DAMAGE OR CONFLICT WITH EXISTING SYSTEMS AND STRUCTURE. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE BEFORE DISPOSING OF ITEMS. ITEMS TO KEEP SHALL BE DELIVERED TO THE OWNER.
- G. OWNER (AISD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR. AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE PROVIDE THE CONTRACTOR WITH THE CANSISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.
- H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND, AS NECESSARY, THE OWNER.
- I. CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS, STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.
- J. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.
- K. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMARNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT. MAXIMUM AIR LEAKAGE RATE = 5%.
- L. CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON CONSTRUCTION COMPLETION.
- M. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.
- N. ANY EXISTING CLOCKS IN HALLWAYS SUSPENDED FROM CEILING, TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- O. ANY EXISTING EXITS SIGNS IN HALLWAYS WITH CEILINGS SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

MECHANICAL KEYED NOTES:

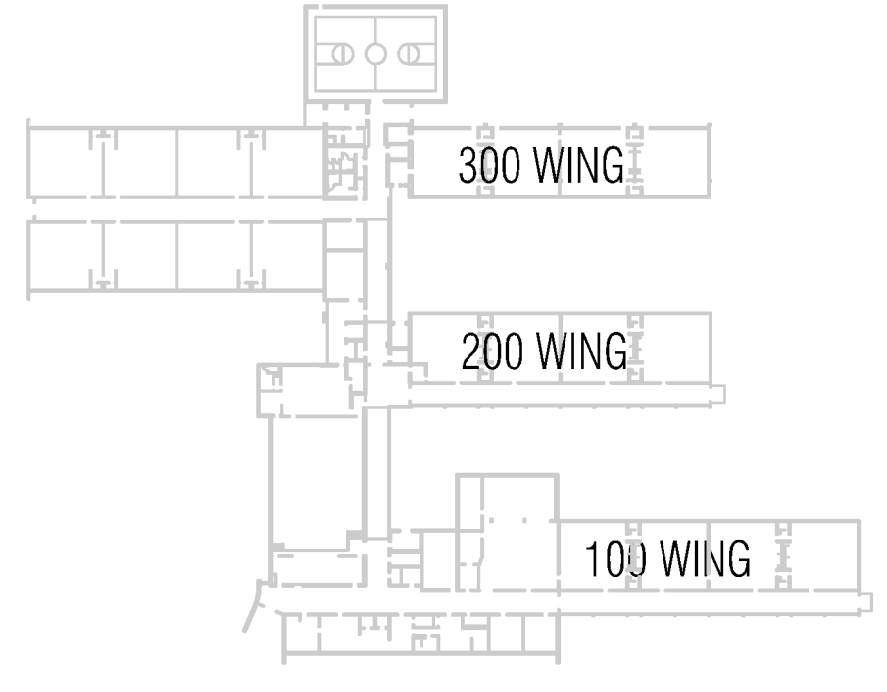
- 1 EXISTING SUPPLY GRILLES IN GYM TO REMAIN. ASSOCIATED EXISTING SUPPLY DUCTWORK SHALL BE REMOVED UP TO UNIT. CONTRACTOR TO FIELD VERIFY EXACT DUCT ROUTING. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.
- 2 CONTRACTOR TO VERIFY EXACT LOCATION OF VERTICAL DUCT SERVING KITCHEN SPACE AND REMOVE ALL VERTICAL SUPPLY AND RETURN DUCTWORK ABOVE CEILING HEIGHT UP TO ROOFTOP UNIT. LOWER PORTION OF DUCTWORK IS TO REMAIN AS IS FOR FUTURE RECONNECTION TO NEW DUCTWORK AND REPLACEMENT UNIT. ALL ASSOCIATED GRILLES, DAMPERS AND ACCESSORIES WITHIN SPACE TO REMAIN. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.
- 3 EXISTING VERTICAL SUPPLY AND RETURN DUCTWORK TO BE REMOVED UP TO UNIT SERVING LIBRARY. FIELD VERIFY HORIZONTAL DUCTWORK IN LIBRARY CEILING AND REMOVE SECTIONS AS REQUIRED FOR FUTURE RECONNECTION TO REPLACEMENT DUCT. REMAINING HORIZONTAL DUCTWORK AND ALL ASSOCIATED BRANCH DUCT, GRILLES, AND DAMPERS TO REMAIN. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.
- 4 EXISTING AIR HANDLING UNIT SERVING MDF ROOM TO BE REMOVED FROM SPACE. CONTRACTOR TO VERIFY EXACT SUPPLY AND RETURN DUCT ROUTING AND REMOVE SECTIONS AS REQUIRED FOR FUTURE RECONNECTION TO REPLACEMENT UNIT. REMAINING DUCTWORK, DAMPERS AND GRILLES TO REMAIN. CONTRACTOR TO FIELD VERIFY EXACT CONDENSATE LINE ROUTING FOR REUSE AND REMOVE ONLY INITIAL SECTIONS AS NEEDED TO MAKE ROOM FOR REPLACEMENT UNIT. EXISTING UNIT TO BE PRE-AUDITED FOR FUTURE REFERENCE TO EXISTING SUPPLY AND RETURN DIFFUSER/GRILLE AIRFLOWS.
- 5 EXISTING CONDENSATE PIPE DOWN FROM RTU-KIT ON ROOF TO JANITOR'S SINK TO REMAIN.
- 6 EXISTING CONDENSATE PIPE DOWN FROM RTU-LB ON ROOF TO EXISTING FLOOR DRAIN IN KILN ROOM TO REMAIN.

DEMO HVAC LEGEND:

- DUCTWORK, DIFFUSER, AND DAMPER TO BE REMOVED OR RELOCATED
- EXISTING DUCTWORK, DIFFUSER, AND DAMPER TO REMAIN
- MECHANICAL EQUIPMENT TO BE REMOVED
- EXISTING MECHANICAL EQUIPMENT TO REMAIN



1 DEMO MECHANICAL PLAN
M2.01 1/16"=1'-0"



KEY PLAN

JONES*DBR
512-636-9811
7800 Shoal Creek Boulevard
Suite 100-W
Austin, Texas 78757
512.637.4393
512.637.4396 f
TBE Firm Registration No. 13002

JONES*DBR Project Number 18515.000

MC | AW/AH | HH | JL | --



VLK ARCHITECTS

ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

M.E.P. ENGINEER

JONES-DBR

7800 Shoal Creek Blvd
SUITE #100-W
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS

113740 Research Blvd. C2
Austin, Texas 78756
Main Phone: 512.571.3530
www.engexteriors.com

ARCHITECT

RELIANCE ARCHITECTURE

1306 Berrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.
CITY REVIEW COMMENTS

Director Drawn By
RJ
Designer Quality Control

Proj. Coord.
WW

PROJECT NO.

1831.00

SHEET TITLE

NEW MECHANICAL
PLAN

SHEET NO.

M2.02

COPYRIGHT © 2017 VLK ARCHITECTS

AUSTIN ISD
AUSTIN, TEXAS

Renovations to Reilly Elementary School

MECHANICAL GENERAL NOTES:

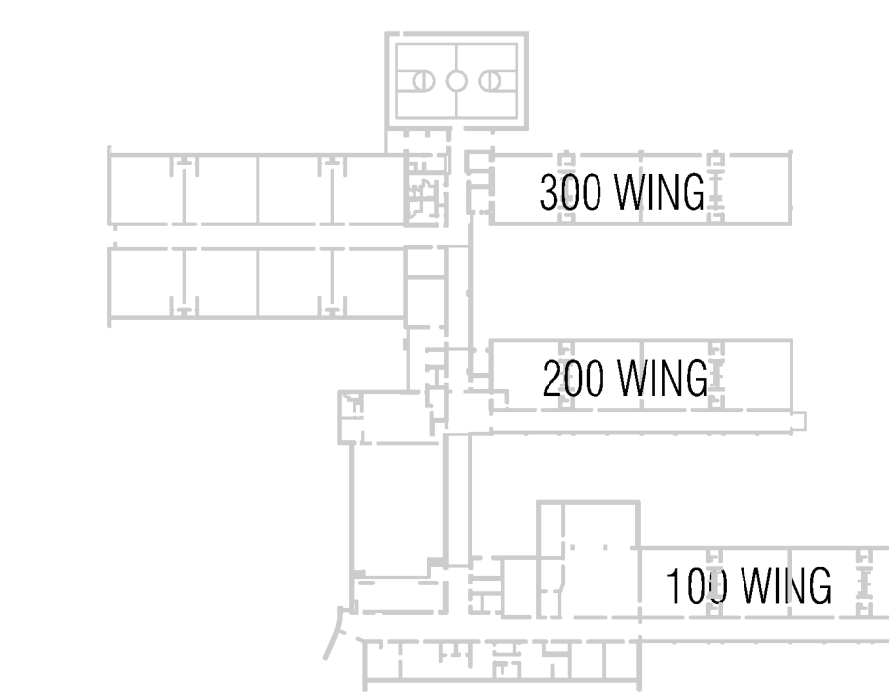
- A. THE DRAWINGS ARE DIAGRAMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING CONDUIT, LIGHTS, FIRE SPRINKLER PIPING, CONDENSATE PIPING, EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, FIRE SPRINKLER PIPING, CONDUIT, DUCTWORK, ETC., BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.
- C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL BUSINESS HOURS.
- D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE. SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL ACCESS, SCHEDULING, AND/OR SECURITY.
- E. PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- G. OWNER (ASD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR. ALSO AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE ASD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". ASD WILL PROVIDE THE CONTRACTOR WITH THE CANNISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE ASD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE ASD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.
- H. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND, AS NECESSARY, THE OWNER.
- I. CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS, STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.
- J. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.
- K. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT; MAXIMUM AIR LEAKAGE RATE = 5%.
- L. CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON CONSTRUCTION COMPLETION.
- M. PROVIDE BALANCING DAMPERS AT EACH SUPPLY AND RETURN BRANCH TAKE OFF.
- N. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.
- O. CLOCKS IN HALLWAYS SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- P. EXIT SIGNS IN HALLWAYS WITH CEILING SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- Q. ALL FLEXIBLE DUCTWORK AND CONNECTORS SHALL NOT EXCEED 5 FEET IN TOTAL LENGTH.

MECHANICAL KEYED NOTES:

- 1 PROVIDE SUPPLY DUCT FOR RTU SERVING GYM. DUCT ROUTING AND SIZE SHALL BE EQUAL TO DUCT PRIOR TO REPLACEMENT. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED TO CONNECT TO EXISTING GRILLES AND TO ASSOCIATED UNIT ON ROOF. ALL DEFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 2 PROVIDE VERTICAL SUPPLY AND RETURN DUCT SECTION FOR RTU SERVING KITCHEN. ROUTE VERTICAL DUCTS DOWN FOR RECONNECTION TO EXISTING SUPPLY AND RETURN DUCT BELOW CEILING LEVEL IN SPACE. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED FOR RECONNECTION AND REROUTING. ALL DEFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 3 PROVIDE VERTICAL SUPPLY AND RETURN DUCT SECTION FOR RTU SERVING LIBRARY. ROUTE VERTICAL DUCTWORK DOWN FROM UNIT TO ABOVE CEILING AND RECONNECT TO EXISTING HORIZONTAL DUCTWORK. PROVIDE FITTINGS AND TRANSITIONS AS REQUIRED TO MATCH EXISTING DUCT PRIOR TO REMOVAL. ALL DEFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 4 PROVIDE NEW AIR HANDLING UNIT ABOVE MDF ROOM CEILING. UNIT SHALL BE INSTALLED IN SAME LOCATION AS EXISTING UNIT PRIOR TO REMOVAL. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES. PROVIDE SUPPLY AND RETURN DUCTWORK SECTIONS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK IN SPACE. PROVIDE NEW CONDENSATE LINE TO CONNECT TO EXISTING PIPING FROM PREVIOUSLY REMOVED UNIT. CONDENSATE PIPING SHALL BE SIZED AND SLOPED TO MATCH PREVIOUSLY REMOVED LINE SERVING UNIT/ALL DEFUSERS/GRILLES ASSOCIATED WITH UNIT SHALL BE REBALANCED TO AIRFLOW READINGS FOUND IN PRE-AUDIT PRIOR TO REMOVAL OF EXISTING UNIT.
- 5 ROUTE 4" Ø OUTSIDE AIR DUCT FROM CEILING MOUNTED CASSETTE TO ROOF. PROVIDE INTAKE HOOD ON ROOF LEVEL.
- 6 PROVIDE DUCTLESS SPLIT SYSTEM CASSETTE UNIT FOR CORRIDOR ENCLOSURE. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES AND ACCESSORIES FOR MOUNTING UNIT AS HIGH AS POSSIBLE FROM STRUCTURE ABOVE. COORDINATE WITH MANUFACTURER FOR REFRIGERANT PIPE ROUTING PREFERENCES. COORDINATE WITH ELECTRICAL FOR POWER REQUIREMENTS.
- 7 ROUTE 3/4" CONDENSATE PIPE UP TO ROOF LEVEL. COORDINATE ROOF PENETRATION WITH STRUCTURAL COMPONENTS AND OTHER TRADES. REFER TO SHEET MEP2.03 FOR PIPE CONTINUATION. RE: PIPE THROUGH ROOF/WALL DETAIL BY ENGINEERING EXTERIORS ROOFING CONSULTANTS.
- 8 ROUTE 3/4" CONDENSATE PIPE FROM ROOF DOWN TO EXISTING SINK IN STORAGE SPACE. FIELD VERIFY EXACT SINK HEIGHT AND TERMINATE CONDENSATE PIPING ABOVE SINK. RE: PIPE THROUGH ROOF/WALL DETAIL BY ENGINEERING EXTERIORS ROOFING CONSULTANTS.
- 9 VERIFY EXISTING SENSOR LOCATIONS AND PROVIDE REPLACEMENT CO2, HUMIDITY, AND TEMPERATURE COMBINATION SENSOR IN SAME LOCATION. IF NO SENSORS ARE PRESENT, PROVIDE SENSORS AS SHOWN ON DRAWINGS. PROVIDE ALL WIRING AS REQUIRED TO RECONNECT SENSORS TO REPLACEMENT UNIT SERVING SPACE WITH SAME FUNCTIONALITY PRIOR TO REPLACEMENT. CO2 SENSORS SHALL CONTROL OUTSIDE AIR DAMPERS IN ASSOCIATED RTU. DAMPER SHALL BE PROPORTIONALLY CONTROLLED BETWEEN MIN. AND MAX. OUTSIDE AIRFLOWS. RE:MS-01 FOR AIRFLOW SETTINGS. MINIMUM OUTSIDE AIRFLOW SHALL CORRESPOND TO 300 PPM CO2 SENSOR READING, WHILE MAXIMUM OUTSIDE AIRFLOW SHALL CORRESPOND TO 1000 PPM CO2 SENSOR READING.
- 10 PROVIDE TEMPERATURE SENSOR FOR CORRIDOR CEILING CASSETTES. PROVIDE ALL WIRING AS REQUIRED TO INTERLOCK ALL UNITS FOR SINGLE POINT READING. COORDINATE FINAL MOUNTING HEIGHT WITH ARCHITECT.
- 11 VERIFY EXISTING SENSOR LOCATIONS AND PROVIDE REPLACEMENT HUMIDITY, AND TEMPERATURE COMBINATION SENSOR IN KITCHEN. IF NO SENSORS ARE PRESENT, PROVIDE SENSORS AS SHOWN ON DRAWINGS.
- 12 1" INSULATED CONDENSATE PIPING DOWN FROM ROOF SERVING RTU-11 AND RTU-12. ROUTE CONDENSATE TO FLOOR DRAIN IN STORAGE ROOM. COORDINATE WITH PLUMBING FOR EXACT DISCHARGE LOCATION WITHIN SPACE.

HVAC LEGEND:

- NEW DUCTWORK, DIFFUSER, AND DAMPER
- EXISTING DUCTWORK, DIFFUSER, AND DAMPER
- NEW MECHANICAL EQUIPMENT
- EXISTING MECHANICAL EQUIPMENT

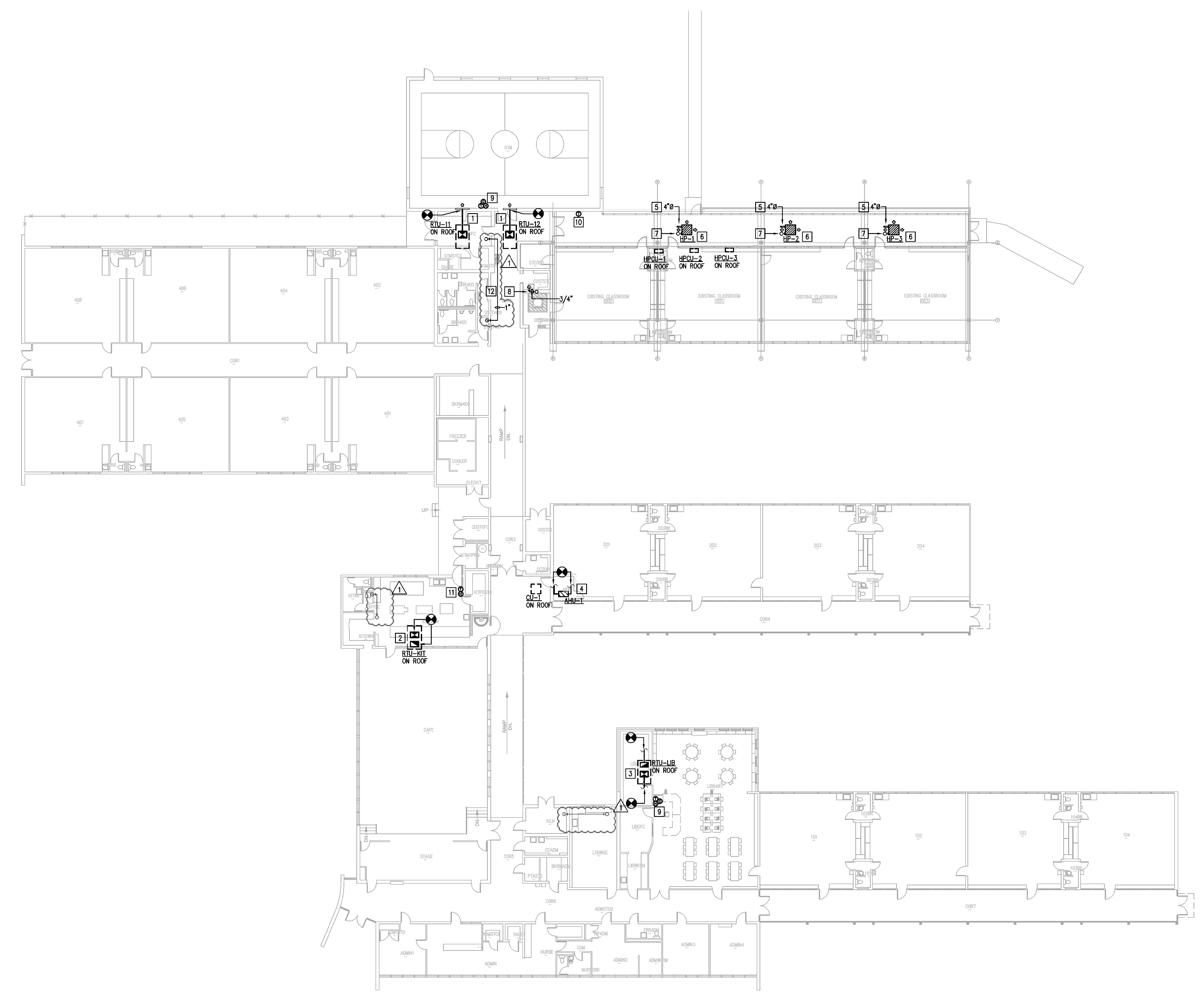


KEY PLAN

JONES*DBR
 SITE # 006 007
 7800 Shoal Creek Boulevard
 Suite 100-W
 Austin, Texas 78757
 512.637.4393 p
 512.637.4396 f
 TBE Firm Registration No. 13002

JONES*DBR Project Number 18515.000

MC | AW | AH | HH | JL | --



1 NEW MECHANICAL PLAN
M2.02 1/16"=1'-0"

ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

M.E.P. ENGINEER

JONES-DBR
7800 Shoal Creek Blvd
SUITE #100-W
Austin, TX 78757
Main Phone: 512.637.4393
www.dbinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS

113740 Research Blvd, C2
Austin, Texas 78750
Main Phone: 512.571.3530
www.engexteriors.com

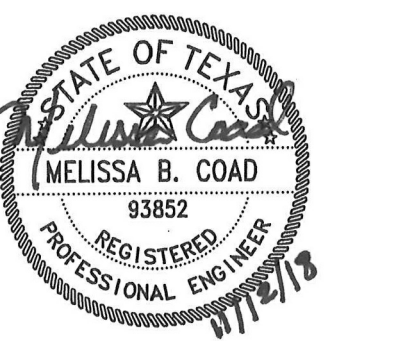
ARCHITECT

RELIANCE ARCHITECTURE

1306 Barrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.
CITY REVIEW COMMENTS

Director Drawn By
RJ
Designer Quality Control

Proj. Coord.
WW

PROJECT NO.

1831.00

SHEET TITLE

MECHANICAL
SCHEDULES

SHEET NO.

M5.01

DX SPLIT SYSTEM SCHEDULE

MARK	HP-1	HP-2	HP-3	AHU-1
SPACE SERVED	300 WING	300 WING	300 WING	MDF ROOM
SYSTEM TYPE	HEAT PUMP	HEAT PUMP	HEAT PUMP	COOLING ONLY
SUPPLY AIR (CFM)	665	665	665	1250
OUTSIDE AIR (CFM)	35	35	35	-
EXT. SP. (IN W.G.)	0.1	0.1	0.1	0.5
FAN MOTOR HORSEPOWER	-	-	-	0.5
NOMINAL TONS	2	2	2	3
AHRI COOLING CAPACITY (MBH)	23.8	23.8	23.8	29800
SENSIBLE COOLING CAPACITY (MBH)	18.9	18.9	18.9	24895
ELECTRIC HEAT (KW) @ 208/3/60 / STAGES	N/A	N/A	N/A	N/A
EAT DB/WB (°F)	-	-	-	75/63
LAT DB/WB (°F)	-	-	-	53.8/53
HEAT PUMP CAPACITY (MBH) @ 47°F	27	27	27	N/A
VOLTS/PHASE/HERTZ	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60
MCA / MOP	0.5/15	0.5/15	0.5/15	5/15
MANUFACTURER	DAIKIN	DAIKIN	DAIKIN	LENNOX
MODEL	FCQ24PAVJU	FCQ24PAVJU	FCQ24PAVJU	CBZ7UH-038
WEIGHT (LBS)	48.5	48.5	48.5	159
NOTES	6,8,10,11	6,8,10,11	6,8,10,11	4,5,6,7,8,9
MARK	HPCU-1	HPCU-2	HPCU-3	CU-1
MIN SEER (ARI)	18.50	18.50	18.50	15
HEAT PUMP HSPF	10.2	10.2	10.2	N/A
AMBIENT AIR	105	105	105	105
VOLTS/PHASE/HERTZ	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60	208 / 1 / 60
MCA	16.5	16.5	16.5	17.1
MOCP	20	20	20	25
MANUFACTURER	DAIKIN	DAIKIN	DAIKIN	LENNOX
MODEL	RZQ24PVJUB	RZQ24PVJUB	RZQ24PVJUB	13ACXN030-230
NOMINAL TONS	2	2	2	2.5
WEIGHT (LBS)	150	150	150	144
NOTES	1,2,3,5	1,2,3,5	1,2,3,5	1,2,3,5

- NOTES
- PROVIDE CONDENSER COIL HAIL GUARDS.
 - PROVIDE LOW AMBIENT CONTROL.
 - INSTALL REFRIGERANT PIPING IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - PROVIDE SECONDARY DRAIN PAN WITH FLOAT SWITCH UNDER UNIT TO DISENGAGE THE UNIT.
 - PROVIDE UNIT WITH SINGLE POINT POWER CONNECTION.
 - HIGH EFFICIENCY UNITS SCHEDULED - ECONOMIZERS NOT REQUIRED.
 - UNIT TO BE CONFIGURED FOR HORIZONTAL DISCHARGE.
 - PROVIDE UNIT WITH CONDENSATE PUMP.
 - UNIT IS COOLING ONLY.
 - INDOOR UNIT SHALL BE POWERED BY OUTDOOR UNIT.
 - PROVIDE OUTSIDE AIR INTAKE KIT.

Load / Airflow Summary

By DBR Engineering

System	Zone	Room	**	Floor Area ft²	People #	Coil Cooling Sensible Btu/h	Coil Cooling Total Btu/h	Space Design Max SA cfm	Air Changes ach/hr	VAV Minimum SA cfm	VAV Minimum %	Main Coil Heating Sensible Btu/h	Heating Fan Max SA cfm	Percent OA Cfg	Htg	
Alternative 1																
Wing Enclosure		Rm Peak		1,398	0.0	47,647	49,912	2,117	9.08	0	0	-39,412	2,117	5.0	5.0	
HP/HPCU-CORRIDOR		Sys Peak		1,398	0.0	47,647	49,912	2,117				-39,412	2,117	5.0	5.0	
HP/HPCU-CORRIDOR		Sys Block		1,398	0.0	47,647	49,912	2,117				-39,412	2,117	5.0	5.0	
		Gym		Rm Peak		2,380	107,966	159,116	3,739	5.89	0	0	-115,858	3,739	20.1	20.1
RTU-GYM		Sys Peak		2,380	80.0	107,966	159,116	3,739				-115,858	3,739	20.1	20.1	
RTU-GYM		Sys Block		2,380	80.0	107,966	159,116	3,739				-115,858	3,739	20.1	20.1	

ROOFTOP UNIT SCHEDULE

FAN AND MOTOR DATA	MARK	RTU-LIB	RTU-11	RTU-12	RTU-KIT
SERVES	LIBRARY	GYM	GYM	KITCHEN	
SUPPLY AIR (CFM)	2250	3000	3000	2000	
MAX OUTSIDE AIR (CFM)	825	400	400	200	
MIN. OUTSIDE AIR (CFM)	240	75	75	200	
EXT. SP. (IN W.G.)	0.5	0.5	0.5	0.5	
COOLING					
TOTAL COOLING (MBH)	93.9	90	90	67.8	
SENSIBLE COOLING (MBH)	65.7	67.7	67.7	51.5	
NUMBER OF STAGES	2	2	2	1	
ENTERING AIR TEMP. DB/WB (F)	83.5/68.5	77.8/64	77.8/64	77.3/64.5	
LEAVING AIR TEMP. DB/WB (F)	54.8/54.5	55/54	55/54	52.4/52.4	
AMBIENT TEMP. (F)	105	105	105	105	
GAS HEAT					
TOTAL INPUT (MBH)	130	N.A.	N.A.	108	
TOTAL OUTPUT (MBH)	104	N.A.	N.A.	86	
ELECTRIC HEAT					
NUMBER OF STAGES	2	N.A.	N.A.	2	
HEATER POWER (KW)	N.A.	22.5	22.5	N.A.	
NUMBER OF STAGES	N.A.	1	1	N.A.	
ELECTRIC					
VOLTS/PHASE/HERTZ	208/3/60	208/3/60	208/3/60	208/3/60	
MCA	40	69	69	35	
MOCP	50	70	70	50	
GENERAL					
MANUFACTURER	LENNOX	LENNOX	LENNOX	LENNOX	
MODEL	LGH102H4M	LCH092H4B	LCH092H4B	LGH072H4B	
I.E.E.R. / E.E.R. (ARI)	14/12.2	13 / 12.7	13 / 12.7	13.5/12.0	
WEIGHT (LBS)	1288	1297	1297	966	
NOTES	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8	1,2,3,4,5,6,7,8	

- NOTES:
- PROVIDE SINGLE POINT ELECTRICAL CONNECTION.
 - PROVIDE FACTORY MOUNTED CONDENSER COIL HAIL GUARD.
 - PROVIDE CO2 OUTSIDE AIR CONTROL WITH MODULATING OUTSIDE AIR AND RETURN AIR DAMPERS.
 - PROVIDE ECONOMIZER CONTROL WITH POWER EXHAUST.
 - PROVIDE HOT GAS REHEAT COIL.
 - PROVIDE WITH CURB ADAPTER.
 - PROVIDE WITH ECONOMIZER.
 - PROVIDE WITH DUCT SMOKE DETECTOR.

OUTSIDE AIR CALCULATION - TABLE 402.1 UMC 2015

ROOM NUMBER	SPACE DESIGNATION	USAGE TYPE	Az	PEOPLE / 1,000 FT²	People	Pz	Rp	Ra	Voz	Ez	Voz	Vot	EXHAUST (CFM)
HP/HPCU-1,2,3	CORRIDOR	CORRIDOR	1,398	0	0	0	0	0.06	84	0.8	105	105	-
PREVIOUS OUTDOOR AIR SUPPLIED TO SPACE (CFM):													0
OUTDOOR AIR REQUIRED (CFM):													105
MAXIMUM OUTDOOR AIR (CFM):													105
MINIMUM OUTDOOR AIR (CFM):													105
RTU-11	GYM	GYMNASIUM	1,190	7	9	30	7.5	0.06	297	0.8	372	372	-
PREVIOUS OUTDOOR AIR SUPPLIED TO SPACE (CFM):													400
OUTDOOR AIR REQUIRED (CFM):													372
MAXIMUM OUTDOOR AIR (CFM):													400
MINIMUM OUTDOOR AIR (CFM):													75
RTU-12	GYM	GYMNASIUM	1,190	7	9	30	7.5	0.06	297	0.8	372	372	-
PREVIOUS OUTDOOR AIR SUPPLIED TO SPACE (CFM):													400
OUTDOOR AIR REQUIRED (CFM):													372
MAXIMUM OUTDOOR AIR (CFM):													400
MINIMUM OUTDOOR AIR (CFM):													75
RTU-LIB	LIBRARY	MEDIA CENTER	1,610	25	41	41	10	0.12	604	0.8	755	755	-
-	LIBRARY OFFICE	OFFICE	140	5	1	1	5	0.06	14	0.8	18	18	-
-	LIBRARY WORKROOM	OFFICE	95	5	1	1	5	0.06	11	0.8	14	14	-
-	LIBRARY STORAGE	STORAGE	233	-	-	0	0	0.12	28	0.8	35	35	-
PREVIOUS OUTDOOR AIR SUPPLIED TO SPACE (CFM):													450
OUTDOOR AIR REQUIRED (CFM):													825
MAXIMUM OUTDOOR AIR (CFM):													825
MINIMUM OUTDOOR AIR (CFM):													240
RTU-LIB	KITCHEN	KITCHEN	890	20	18	7	7.5	0.12	160	0.8	200	200	-
PREVIOUS OUTDOOR AIR SUPPLIED TO SPACE (CFM):													200
OUTDOOR AIR REQUIRED (CFM):													200
MAXIMUM OUTDOOR AIR (CFM):													200
MINIMUM OUTDOOR AIR (CFM):													200

JONES*DBR

SITE # 036-00111
7800 Shoal Creek Boulevard
Suite 100-W
Austin, Texas 78757
512.637.4393 p
512.637.4396 f
TBE Firm Registration No. 13002

JONES*DBR Project Number 18515.000

MC | AW/AH | HH | JL | --

ARCHITECT

VLK Architects, Inc.
2700 Via Fortuna, Suite 230
Austin, Texas 78746
Main Phone: 512.807.3145
www.vlkarchitects.com

M.E.P. ENGINEER

JONES*DBR
7800 Shoal Creek Blvd
SUITE #100-W
Austin, TX 78757
Main Phone: 512.637.4393
www.dbrinc.com

BUILDING ENVELOPE

ENGINEERED EXTERIORS

113740 Research Blvd. C2
Austin, Texas 78756
Main Phone: 512.571.3530
www.engexteriors.com

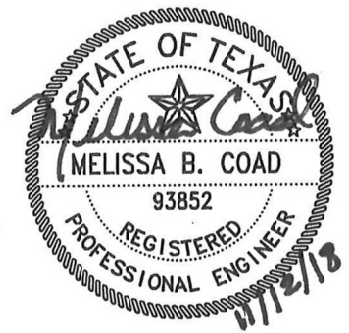
ARCHITECT

RELIANCE ARCHITECTURE

1306 Berrington Dr.
Austin, Texas 78753
Main Phone: 512.758.7660
www.reliancearchitecture.com

AISD PROJECT #
19-0029-REILLY

CONSTRUCTION
DOCUMENTS
SUBMITTAL



ISSUE DATE: OCTOBER 25, 2018

REVISIONS

Revision No.	Description

Director Drawn By

RJ

Designer Quality Control

Proj. Coord.

VVV

PROJECT NO.

1831.00

SHEET TITLE

MEP DEMO
ROOF PLAN

SHEET NO.

MEP2.02

MECHANICAL GENERAL NOTES:

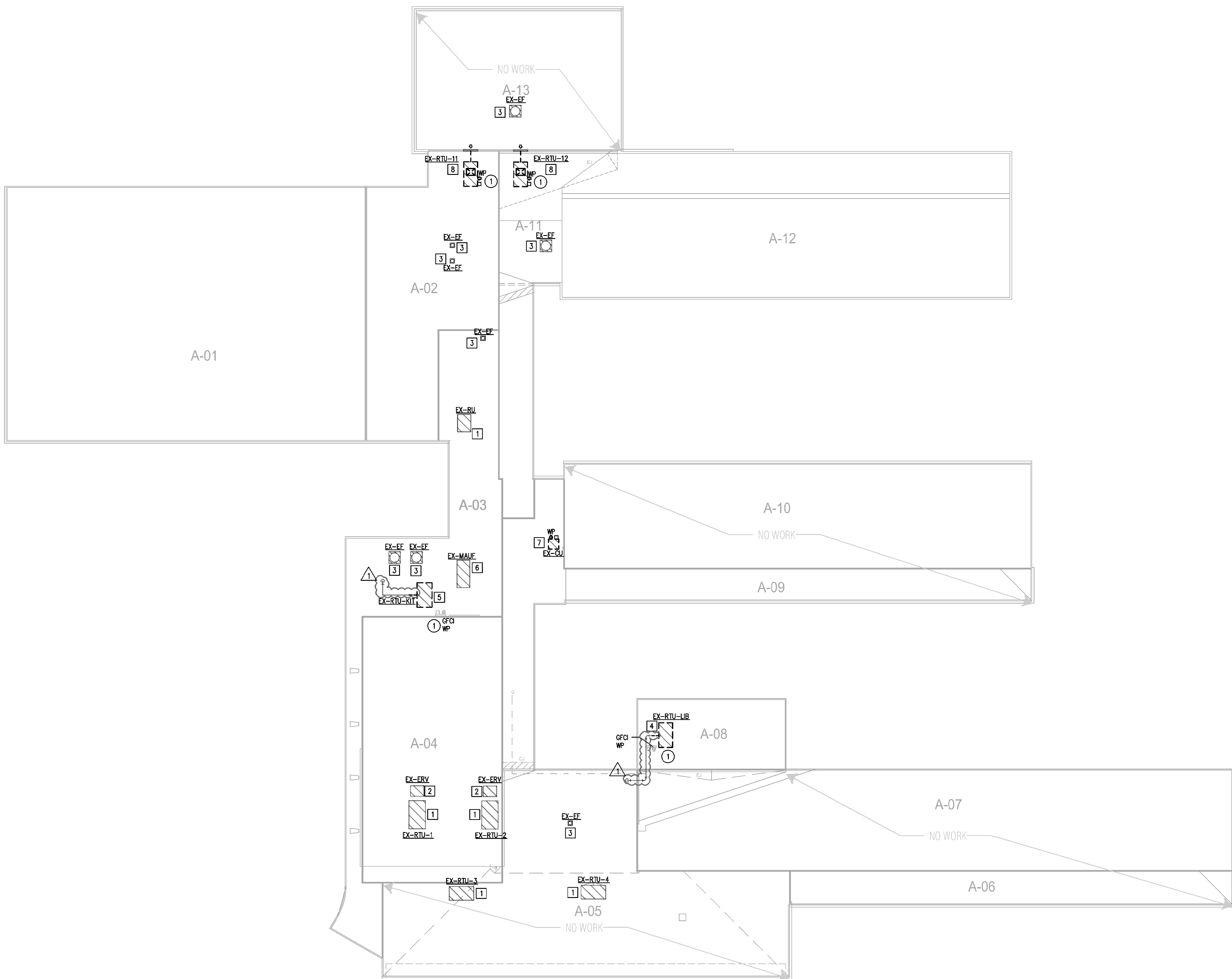
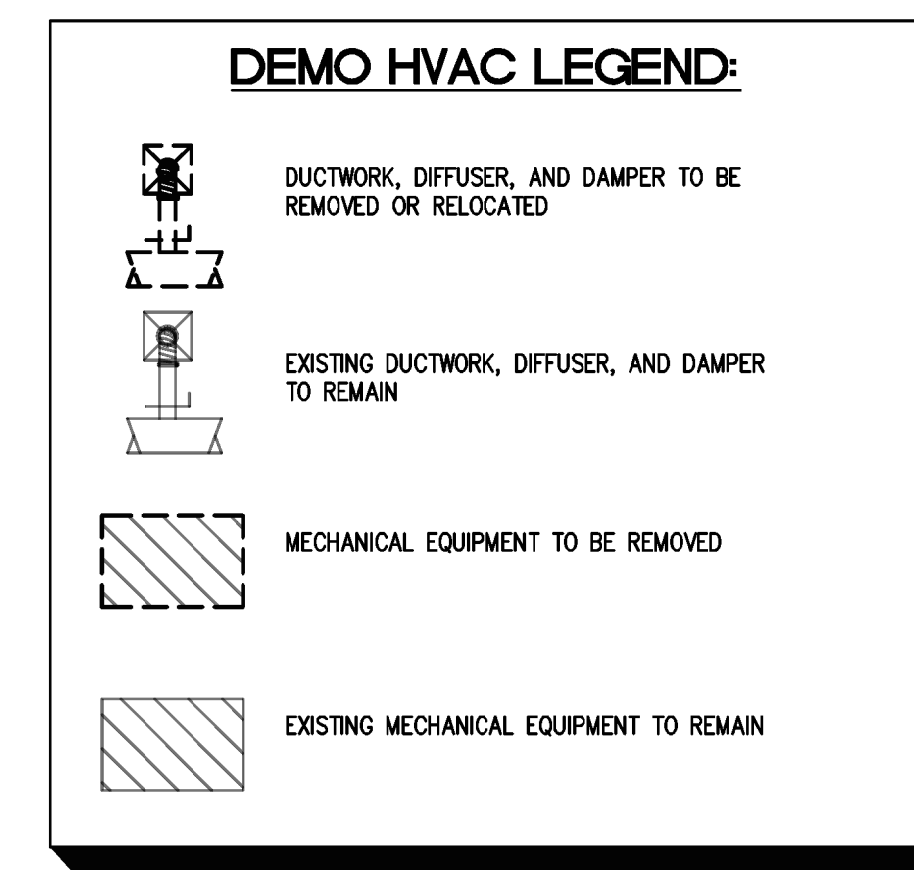
- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, CONDUIT, DUCTWORK, ETC., BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.
- WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL BUSINESS HOURS.
- SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE. SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL ACCESS, SCHEDULING, AND/OR SECURITY.
- PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE REMOVAL AND OFF-SITE DISPOSAL OF EXISTING MATERIALS AND ROUTING OF ANY NEW PIPING, CONDUIT, DUCTWORK AT THE JOB SITE TO AVOID DAMAGE OR CONFLICT WITH EXISTING SYSTEMS AND STRUCTURE. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE BEFORE DISPOSING OF ITEMS. ITEMS TO KEEP SHALL BE DELIVERED TO THE OWNER.
- OWNER (AISD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR. AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL BE PROVIDE THE CONTRACTOR WITH THE CONTAINERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND, AS NECESSARY, THE OWNER.
- CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS, STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.
- COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND QUANTITIES REQUIRED BY THE SPECIFICATIONS: OWNER'S MANUAL AND PROJECT RECORD DRAWINGS.
- NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT; MAXIMUM AIR LEAKAGE RATE = 2X.
- CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON CONSTRUCTION COMPLETION.
- SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.
- ANY EXISTING CLOCKS IN HALLWAYS SUSPENDED FROM CEILING, TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- ANY EXISTING EXITS SIGNS IN HALLWAYS WITH CEILINGS SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.

MECHANICAL KEYED NOTES:

- EXISTING ROOFTOP UNIT TO REMAIN.
- EXISTING ERY UNIT TO REMAIN.
- EXISTING EXHAUST FAN TO REMAIN.
- EXISTING ROOFTOP UNIT SERVING LIBRARY TO BE REPLACED. REMOVE EXISTING UNIT FROM SPACE. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING THEM AND COORDINATE HANDING THEM OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE EXISTING COMMUNICATION WIRE FROM THE UNIT TO THE NEAREST EXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT. PRIOR TO REMOVAL, CONTRACTOR SHALL MAKE REFERENCE OF EXISTING CONDENSATE SIZES AND ROUTING FROM UNIT FOR FUTURE RECONNECTION TO EXISTING PIPE USING SAME SIZE AND SLOPE. EXISTING TRAP AND INITIAL SECTION OF CONDENSATE FROM UNIT TO BE REMOVED FOR FUTURE REPLACEMENT.
- EXISTING ROOFTOP UNIT SERVING KITCHEN TO BE REPLACED. REMOVE EXISTING UNIT FROM SPACE. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING THEM AND COORDINATE HANDING THEM OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE EXISTING COMMUNICATION WIRE FROM THE UNIT TO THE NEAREST EXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT. PRIOR TO REMOVAL, CONTRACTOR SHALL MAKE REFERENCE OF EXISTING CONDENSATE SIZES AND ROUTING FROM UNIT FOR FUTURE RECONNECTION TO EXISTING PIPE USING SAME SIZE AND SLOPE. EXISTING TRAP AND INITIAL SECTION OF CONDENSATE FROM UNIT TO BE REMOVED FOR FUTURE REPLACEMENT.
- EXISTING MAKE-UP AIR UNIT TO REMAIN.
- EXISTING SPLIT SYSTEM SERVING MDF ROOM TO BE REPLACED. REMOVE EXISTING CONDENSING UNIT AND ALL ASSOCIATED REFRIGERANT PIPING. INDOOR UNIT EXACT LOCATION TO BE FIELD VERIFIED AND REMOVED FROM SPACE.
- EXISTING WATER SOURCE HEAT PUMP AND ASSOCIATED DUCTWORK INTO GYM TO BE REPLACED. REMOVE EXISTING UNIT AND ALL ASSOCIATED DUCTWORK AND PIPING FROM SPACE. EXISTING SUPPLY AND RETURN GRILLES IN GYM TO REMAIN FOR FUTURE RE-CONNECTION. PRIOR TO REMOVAL OF UNIT, CONTROL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING CONTROLS WITHOUT DAMAGING AND COORDINATE HANDING OVER TO THE SERVICE CENTER FOR THE SCHOOL DISTRICT. CONTRACTOR SHALL MAINTAIN THE EXISTING COMMUNICATION WIRE FROM THE UNIT TO THE NEAREST EXISTING CONTROL PANEL FOR FUTURE USE WITH THE NEW UNIT.

ELECTRICAL KEYED NOTES:

- EXISTING DISCONNECT AND FEEDER TO BE REMOVED ALONG WITH EXISTING MECHANICAL EQUIPMENT. CONTRACTOR IS TO FIELD VERIFY EXISTING PANEL - CIRCUIT PRIOR TO DEMOLITION. ALL CIRCUITS INDICATED ON PLANS ARE BASED UPON AS-BUILT DOCUMENTATION AND FIELD OBSERVATION. CONTACT ENGINEER OF RECORD UPON ANY DISCREPANCIES.

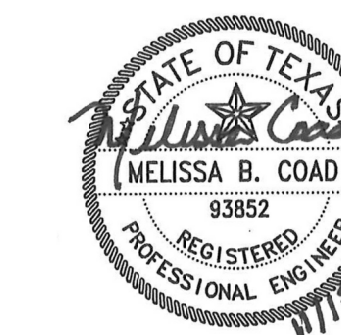


MEP DEMO ROOF PLAN
1/16"=1'-0"

JONES*DBR
512 636 4393
7800 Shoal Creek Boulevard
Suite 100-W
Austin, Texas 78757
512.637.4393 p
512.637.4396 f
TBE Firm Registration No. 13002

JONES*DBR Project Number 18515.000

MC |AW/AH| HH | JL | --



Revision No.	CITY REVIEW COMMENTS
1	

Director Drawn By
RJ
Designer Quality Control
Proj. Coord.
WW

MECHANICAL GENERAL NOTES:

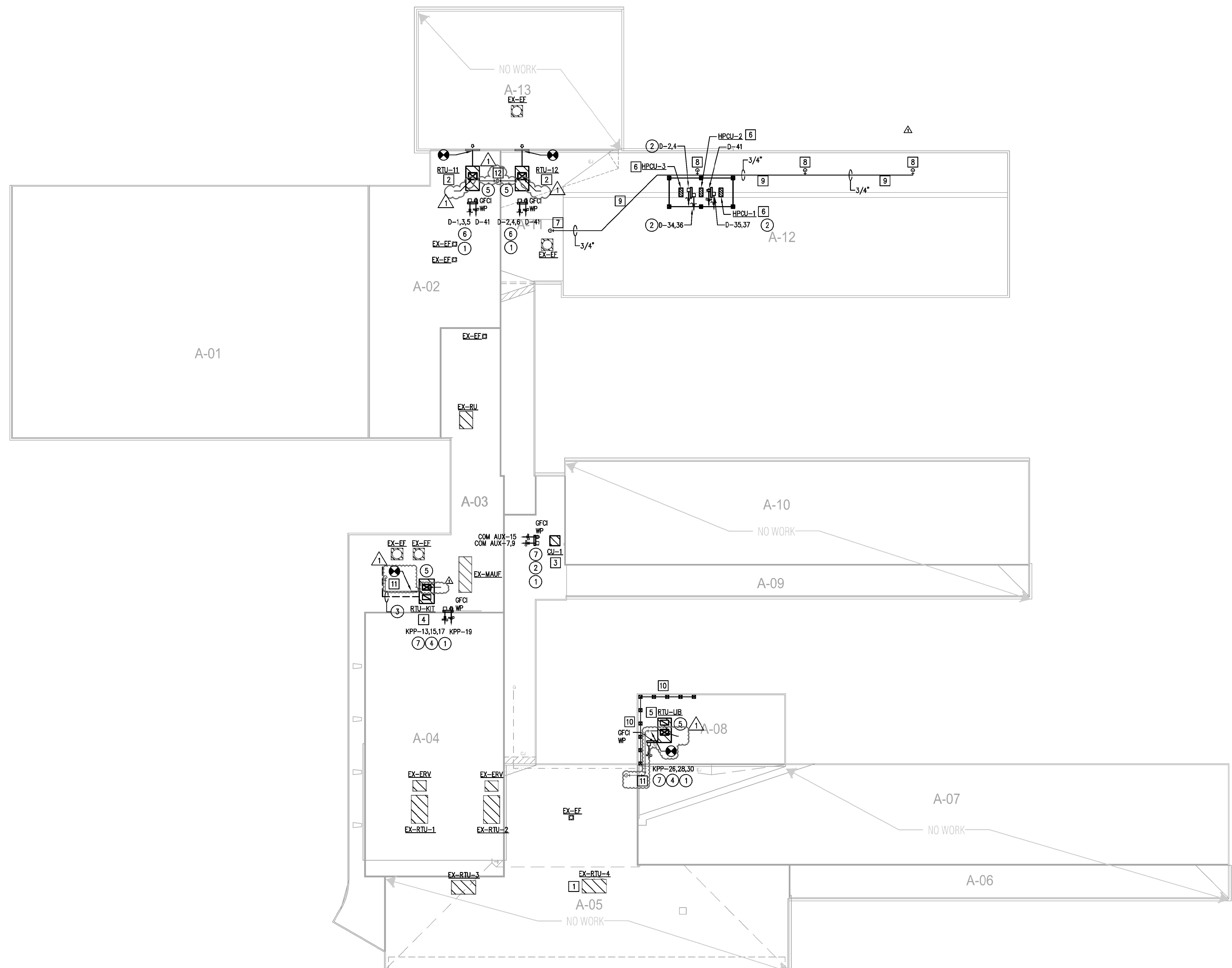
- A. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF EXISTING CONDUIT, LIGHTS, FIRE SPRINKLER PIPING, CONDENSATE PIPING, EQUIPMENT, DUCTS, AND GRILLES, ETC. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT UPON PROJECT COMPLETION, THE EXISTING MECHANICAL SYSTEMS, FIRE SPRINKLER PIPING, CONDUIT, DUCTWORK, ETC. BE READY FOR OPERATION WHETHER OR NOT EVERY ITEM OF EQUIPMENT, ACCESSORY, DEVICE, ETC. IS SHOWN. REFERENCE SHALL BE MADE TO THE FULL DRAWING PACKAGE INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR COORDINATION AND POTENTIAL CONFLICTS. THE MECHANICAL SUBCONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN THE LAYOUT AS NEEDED TO PREVENT CONFLICTS WITH OTHER TRADES, OR FOR PROPER EXECUTION OF THE WORK. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING DUCTWORK.
- B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS BEFORE ANY DEMOLITION WORK BEGINS.
- C. WORK SHALL BE DONE SO AS TO MINIMIZE DISRUPTION TO BUILDING ACTIVITIES. KEEP BUILDING SERVICES IN FULL OPERATION DURING NORMAL BUSINESS HOURS.
- D. SCHEDULING SHALL BE CLOSELY COORDINATED WITH THE OWNER AND NO WORK SHALL PROCEED WITHOUT AN OWNER-APPROVED SCHEDULE. SCHEDULE ALL SHUTDOWNS AT LEAST 48 HOURS IN ADVANCE WITH OWNER IN WRITING. REFER TO SPECIFICATIONS FOR AREAS REQUIRING SPECIAL ACCESS, SCHEDULING, AND/OR SECURITY.
- E. PROTECTION OF BUILDING PERSONNEL, FURNISHINGS AND SYSTEMS FROM HAZARD AND/OR CONTAMINATION ASSOCIATED WITH DEMOLITION AND CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- F. OWNER (AISD) REQUIRES THAT R22 REFRIGERANT FROM EXISTING AIR UNITS BEING DEMOLISHED AND/OR REPLACED BE RECAPTURED BY THE CONTRACTOR. AISD AC TECH WILL TEST THE REFRIGERANT OF EACH UNIT BEING REPLACED OR DEMOLISHED AND TAG THEM WITH EITHER "GOOD" OR "BAD" LABEL. THE AISD AC TECH WILL HAVE TO COMMUNICATE WITH THE CONTRACTOR HOW THE UNITS ARE LABELED. CONTRACTOR WILL THEN RECLAIM ALL THE REFRIGERANT FROM THE UNITS THAT HAVE BEEN LABELED "GOOD" AND DISPOSE OF THE ONES LABELED "BAD". AISD WILL PROVIDE THE CONTRACTOR WITH THE CANNISTERS NEEDED FOR RECOVERING THE REFRIGERANT. WHEN CAPTURE IS COMPLETE, CONTRACTOR SHALL NOTIFY THE AISD PROJECT MANAGER FOR THIS PROJECT, WHO WILL CONTACT THE AISD SERVICE CENTER FOR PICKUP. RECAPTURE APPLIES TO ANY QUANTITY OF R22 REFRIGERANT.
- G. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR AND, AS NECESSARY, THE OWNER.
- H. CONTRACTOR SHALL COORDINATE ROUTING OF ANY NEW PIPING OR DUCTWORK AT THE JOB SITE TO AVOID CONFLICT WITH EXISTING SYSTEMS, STRUCTURE, LIGHT FIXTURES AND PLUMBING LINES.
- I. COMPLETION: UPON COMPLETION OF THE WORK, AND PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER IN THE FORM AND QUANTITIES REQUIRED BY THE SPECIFICATIONS, OWNER'S MANUAL, AND PROJECT RECORD DRAWINGS.
- J. NEW HVAC DUCTWORK, UNLESS NOTED OTHERWISE, TO BE GALVANIZED SHEET METAL SIZED, CONSTRUCTED, AND INSTALLED IN ACCORDANCE WITH THE SMACNA RECOMMENDATIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS. SIZES SHOWN ON PLANS ARE IN METAL DIMENSIONS. ROUTE DUCTWORK SO AS TO MINIMIZE OFFSETS. FIELD VERIFY ROUTING ABOVE EXISTING CEILING. SEAL ALL DUCT SEAMS AIR TIGHT. MAXIMUM AIR LEAKAGE RATE = 5%.
K. CONTRACTOR SHALL PROTECT EXISTING SECURITY CAMERAS DURING CONSTRUCTION AND SHALL CONFIRM CAMERAS ARE OPERATIONAL UPON CONSTRUCTION COMPLETION.
- L. PROVIDE BALANCING DAMPERS AT EACH SUPPLY AND RETURN BRANCH TAKE OFF.
- M. SMOKE DETECTORS SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. COVER ALL SMOKE DETECTORS FOR PROTECTION.
- N. CLOCKS IN HALLWAYS SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. CLOCKS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT CLOCK SYSTEM IS WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- O. EXIT SIGNS IN HALLWAYS WITH CEILING SCHEDULED FOR DEMOLITION AND SUSPENDED FROM CEILING TO BE CAREFULLY DISCONNECTED AND STORED DURING CONSTRUCTION. EXIT SIGNS SHALL BE RE-INSTALLED IN PREVIOUS LOCATION WHEN CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL VERIFY THAT POWER HAS BEEN RESTORED AND SIGNS ARE WORKING PROPERLY WHEN INSTALLATION IS COMPLETE.
- P. ALL DUCTWORK LOCATED OUTDOORS SHALL BE INSULATED PER SPECIFICATIONS FINISHED WITH ALUMINUM JACKETING.
- Q. ALL CONDENSATE PIPING WITHIN BUILDING STRUCTURE SHALL BE INSULATED PER SPECIFICATIONS.
- R. ALL FLEXIBLE DUCTWORK AND CONNECTORS SHALL NOT EXCEED 5 FEET IN TOTAL LENGTH.

MECHANICAL KEYED NOTES:

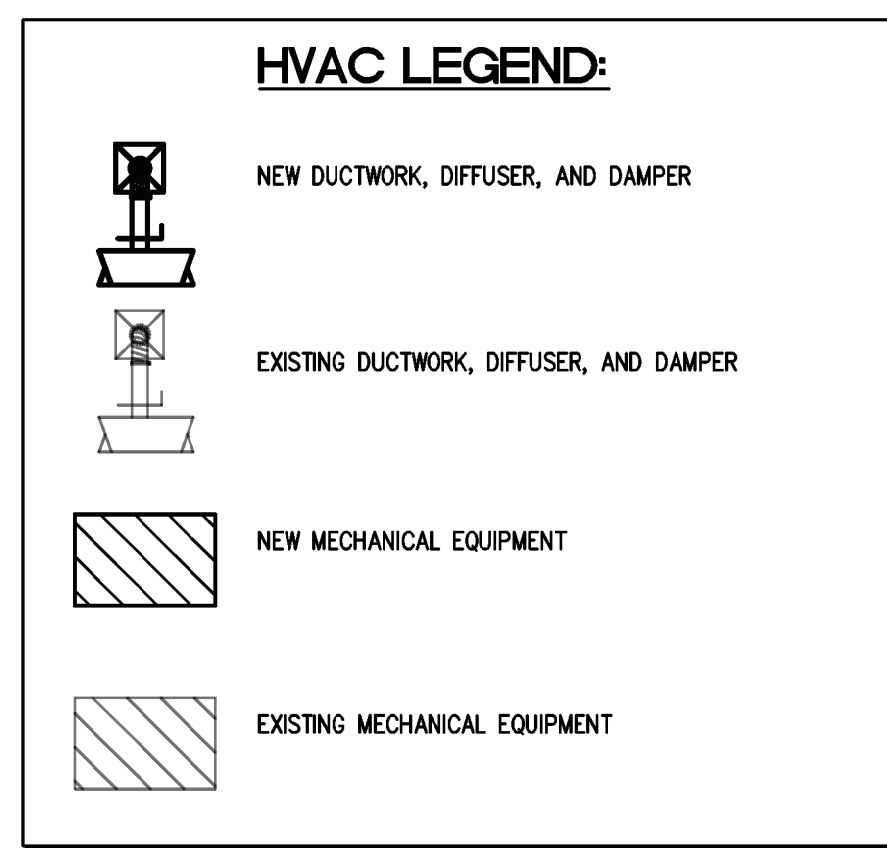
- 1 CONTRACTOR TO FIELD VERIFY EXACT ROUTING OF ROOFTOP UNIT CONDENSATE LINE. SEAL/REPAIR LEAKING PIPE AS REQUIRED.
- 2 PROVIDE NEW ROOF TOP UNITS TO SERVE GYM AT APPROXIMATE LOCATION SHOWN. UNIT SHALL BE INSTALLED FARTHER AWAY FROM GYM WALL AND PROVIDED WITH NEW ROOF FLASHINGS AND ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE NEW DUCTWORK EQUAL TO EXISTING SIZE TO CONNECT TO EXISTING SUPPLY AND RETURN GRILLE SERVING GYM. PROVIDE ALL DUCT TRANSITION PIECES AS REQUIRED TO RE-USE EXISTING PENETRATIONS INTO EXISTING GYM WALL. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES. PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT.
- 3 PROVIDE REPLACEMENT SPLIT SYSTEM FOR MDF ROOM. UNITS SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT. PROVIDE CONDENSER MOUNTING RACK FOR RAISING UNIT A MINIMUM OF 14" ABOVE ROOF. PROVIDE AND ROUTE REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATION. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES.
- 4 PROVIDE REPLACEMENT ROOFTOP UNIT TO SERVE KITCHEN. UNIT SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT PROVIDING NEW ROOF FLASHINGS WITH ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE FITTINGS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES. PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT. PROVIDE NEW GAS PIPING AND RECONNECT EXISTING GAS LINE TO NEW REPLACEMENT ROOFTOP UNIT PER MANUFACTURER'S RECOMMENDATIONS FOR A COMPLETE AND WORKING SYSTEM.
- 5 PROVIDE REPLACEMENT ROOFTOP UNIT TO SERVE LIBRARY. UNIT SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUSLY REMOVED UNIT PROVIDING NEW ROOF FLASHINGS AND ROOF CURB MODIFICATIONS AS NEEDED TO MEET 18" MINIMUM HEIGHT REQUIREMENT. PROVIDE ALL DUCT TRANSITIONS AND FITTINGS AS REQUIRED TO CONNECT TO EXISTING DUCTWORK. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL REQUIRED CLEARANCES. PROVIDE DUCT SMOKE DETECTOR IN SUPPLY DUCT. PROVIDE NEW GAS PIPING AND RECONNECT EXISTING GAS LINE TO NEW REPLACEMENT ROOFTOP UNIT PER MANUFACTURER'S RECOMMENDATIONS FOR A COMPLETE AND WORKING SYSTEM.
- 6 PROVIDE DUCTLESS SPLIT SYSTEM HEAT PUMP FOR CORRIDOR ENCLOSURE CASSETTE UNITS. INSTALL UNIT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROVIDE ALL RECOMMENDED CLEARANCES WHILE MAINTAINING A MINIMUM DISTANCE OF 10 FEET FROM ANY EDGE OF ROOF. PROVIDE CONDENSER MOUNTING RACK FOR RAISING UNIT A MINIMUM OF 14" ABOVE ROOF. COORDINATE WITH MANUFACTURER FOR REFRIGERANT PIPE ROUTING PREFERENCES. COORDINATE WITH ELECTRICAL FOR POWER REQUIREMENTS.
- 7 ROUTE 3/4" INSULATED CONDENSATE PIPING DOWN TO STORAGE ROOM SINK. REFER TO SHEET M2.02 FOR PIPE CONTINUATION.
- 8 ROUTE 3/4" INSULATED CONDENSATE PIPING DOWN TO CEILING MOUNTED CASSETTE UNIT IN CORRIDOR ENCLOSURE. REFER TO SHEET M2.02 FOR PIPE CONTINUATION.
- 9 ALL CONDENSATE PIPING ON ROOF SHALL BE INSULATED AND SLOPED AT A MINIMUM OF 1/8TH INCH PER FOOT. PROVIDE PIPE WITH PORTABLE PIPE HANGER MODEL S58-5" SUPPORTS FOR ENTIRE ROUTING ACROSS ROOF LEVEL. PROVIDE SUPPORTS AT A MINIMUM OF EVERY 8 FEET.
- 10 FALL PROTECTION RAILING. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE AS REQUIRED BY CODE.
- 11 PROVIDE AND ROUTE INSULATED CONDENSATE PIPING ON ROOF TO CONNECT TO EXISTING CONDENSATE ON ROOF. SUPPORT PIPE EVERY 4 FEET SLOPING AT 1/4" PER FOOT. CONTRACTOR SHALL PROVIDE NEW TRAP WITH NEW UNIT UPON CONNECTING TO NEW REPLACEMENT UNIT.
- 12 PROVIDE AND ROUTE 1" INSULATED CONDENSATE PIPING COMBINED FROM RTU-11 AND RTU-12 DOWN THROUGH ROOF TO FLOOR DRAIN IN STORAGE ROOM. REFER TO SHEET M2.02 FOR PIPE CONTINUATION. SUPPORT PIPE EVERY 4 FEET SLOPING AT 1/8" PER FOOT. CONTRACTOR SHALL PROVIDE NEW TRAP WITH NEW UNIT UPON REPLACEMENT.

ELECTRICAL KEYED NOTES:

- 1 PROVIDE NEW DISCONNECT ON STAND-ALONE UNISTRUT RACK TO SERVE UPDATED MECHANICAL EQUIPMENT. DISCONNECT TO MATCH EXISTING DISCONNECT VOLTAGE, AMPACITY AND NEMA RATING. CONTRACTOR TO FIELD VERIFY EXISTING CIRCUIT, FEEDER AND BREAKER PRIOR TO CONNECTION. CONTRACTOR TO VERIFY FEEDER, BREAKER AND DISCONNECT MEET MANUFACTURER'S REQUIREMENTS FOR NEW MECHANICAL EQUIPMENT. REPLACE ALL ELECTRICAL SERVICE TO MECHANICAL UNIT IF ELECTRICAL EQUIPMENT, DEVICES, FEEDERS AND CONDUIT ARE NOT ADEQUATE FOR NEW MECHANICAL UNIT. COORDINATE WITH EXISTING EQUIPMENT PRIOR TO DEMOLITION AND INSTALLATION. SPLICE EXISTING FEEDERS AND EXTEND EXISTING CONDUIT AS NECESSARY.
- 2 PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 30A/NF/208/1PH/NEMA 3R.
- 3 EXISTING ELECTRICAL CONDUIT TO BE RAISED AT ROOF PENETRATION BY ELECTRICAL CONTRACTOR. REFER TO 2/A3.0 FOR CLEARANCE REQUIREMENTS AND NEW ROOF FLASHING.
- 4 PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 60A/NF/208/3PH/NEMA 3R.
- 5 PROVIDE DUCT DETECTOR IN RETURN DUCT OF MECHANICAL UNIT. DUCT SMOKE DETECTOR PROVIDED BY MECHANICAL CONTRACTOR AND WIRE TO FIRE ALARM CONTROL PANEL PROVIDED BY FIRE ALARM CONTRACTOR.
- 6 PROVIDE NEW STAND-ALONE UNISTRUT RACK-MOUNTED DISCONNECT. 100A/NF/208/3PH/NEMA 3R.
- 7 PANEL/BREAKER BASED UPON AS-BUILT DOCUMENTATION AND FIELD VERIFICATION.



MEP ROOF PLAN
1/16"=1'-0"



JONES*DBR
816 G 066 000
7800 Shoal Creek Boulevard
Suite 100-W
Austin, Texas 78757
512.637.4393
512.637.4396 f
TBE Firm Registration No. 13002

JONES*DBR Project Number 18515.000
MC |AW/AH| HH | JL | --